

June 28, 2023
Via Hand Delivery & Newforma
(boroughclerk@chathamborough.org)

Borough of Chatham
Zoning Board of Adjustment
54 Fairmount Avenue
Chatham, NJ 07928

Attn: Vanessa L. Nienhouse, RMC
Municipal Clerk

**RE: Danny Realty, LLC
Proposed Retail Store
Block 122, Lot 2
185 Main Street (NJSH Route 124) &
Hillside Avenue
Borough of Chatham
Morris County, NJ
DEC# 0141-99-146**

Ms. Nienhouse,

On behalf of the Applicant, Danny Realty LLC, enclosed please find the following documents constituting the formal submission to the Borough of Chatham Zoning Board of Adjustment towards issuance of Preliminary and Final Major Site Plan approval for the above referenced project:

- Fourteen (14) copies of the signed and completed Application for Development, including the Permission to Enter Applicant's Property, and applicable checklists;
- Fourteen (14) copies of the signed and completed Tree Removal Application, dated 05/08/2023;
- Fourteen (14) copies of the sample public notice, prepared by Steven R. Tombalakian, Esq.;
- Fourteen (14) copies of the Tax Certification from the Borough Tax Collector;
- Fourteen (14) copies of the letter from the Borough Water and Sewer Department that all Borough fees and charges are paid;
- Fourteen (14) copies of the 200-foot Property Owners List from the Borough of Chatham Tax Assessor's office;

- Fourteen (14) copies of the Photo Location Report, prepared by our office, dated 06/2023;
- Fourteen (14) copies of the List of Variances and Waivers, prepared by our office, dated 06/2023;
- Fourteen (14) copies of the Borough of Chatham Planning Board Letter of Denial, prepared by Glen Turi, dated June 1, 2023;
- Fourteen (14) copies of James E. Henry, PE, PP, Suchita K. Shah, RA AIA, NCARB, LEED, and Kamlesh Shah, RA AIA's Qualifications;
- Fourteen (14) copies of the Morris County Planning Board Submission Letter, prepared by our office, dated 06/09/2023;
- Fourteen (14) copies of the Morris County Soil Conservation Submission Letter, prepared by our office, dated 06/09/2023;
- Fourteen (14) copies of the New Jersey Department of Transportation Letter of No Interest Determination Submission Letter, prepared by Dynamic Traffic, dated 05/24/2023;
- Fourteen (14) copies of the statement of reasons why the application is necessary, prepared by our office;
- Fourteen (14) signed and sealed copies of the Environmental Impact Statement, prepared by our office, dated 06/2023;
- Fourteen (14) signed and sealed copies of the Drainage Report, prepared by our office, dated 06/2023;
- Fourteen (14) signed and sealed copies of the Traffic Impact Statement, prepared by Dynamic Traffic, dated 05/11/2023;
- Fourteen (14) signed and sealed copies of the Boundary and Topographical Survey, prepared by DPK Consulting, LLC, dated 11/17/2021;
- Fourteen (14) copies of the Architectural Plans, prepared by Kamlesh Shah Designs Inc., dated 04/03/2023; and
- Fourteen (14) signed and sealed copies of the Preliminary and Final Major Site Plans, prepared by our office, dated 04/14/2023, last revised 06/09/2023.

We request you please review the enclosed documents towards Preliminary and Final Major Site Plan Approval for the above referenced project.

Should you have any questions, comments, or require additional information, please do not hesitate to contact the undersigned.

Sincerely,

DYNAMIC ENGINEERING CONSULTANTS, PC



James E. Henry, PE, PP



Conor Daly

Enclosures

cc: Waseem Chaudhary (via Email)
Kamlesh Shah (via Newforma)
David Springsteen (via Newforma)
Steven R. Tombalakian (via Newforma)
James M. Turteltaub (via Newforma)

BOROUGH OF CHATHAM

Borough of Chatham, Fairmount Avenue, Chatham, New Jersey 07928

APPLICATION FOR DEVELOPMENT☐ Planning Board☒ Board of AdjustmentApp. Number: TBDDate of First Submission: 04/xx/2023Valid Application Date: TBDCompleteness Date: TBD**1. PROPERTY INFORMATION**Address: 185 Main Street (NJSH Route 124), Borough of Chatham, NJZone: B-3 (Business District) ZoneTax Map Number: #19Block: 122Lot(s): 2Present Use: Automobile Service StationHas there been any previous application involving these premises by the applicant or any prior owner of the property? ☒ Yes ☐ No ☐ UnknownIf yes, nature of application, date and determination: Prior site plan approval in or around 1993 (resolution cannot be located despite best efforts); Sign Permit Application dated 08/15/2022Does the applicant own adjacent property? ☐ Yes ☒ No If yes, address of property: _____

Restrictions, covenants, easements, association by-laws, existing or proposed on the property:

☐ Yes [attach copies] ☒ No ☐ Proposed**2. APPLICANT INFORMATION**Name: Danny Realty, LLCAddress: 230 Main StreetCity/State/Zip: Madison, NJ 07490Phone #: 973-975-7782

Fax: _____

Email: waseem@waseempetroleum.comApplicant is a(n): ☐ Individual ☒ Partnership ☐ Corporation**CONTACT FOR APPLICATION**Name: James E. Henry, PE, PP - Principal - Dynamic Engineering Consultants, PCAddress: 1904 Main StreetCity/State/Zip: Lake Como, NJ 07719Phone #: 732-615-2032Fax: 732-974-3521Email: jhenry@dynamiccec.com**3. DISCLOSURE STATEMENT**

Pursuant to N.J.S.A. 40:55D-48.1, the names and addresses of all persons owning 10% of the stock in a corporate applicant of 10% interest in any partnership application must be disclosed. In accordance with N.J.S.A. 40:55D-48.2 that disclosure requirement applies to any corporation or partnership which owns more than 10% interest in the applicant followed up in the chain of ownership until the names and addresses of the non-corporate stockholders and partners exceeding the 10% ownership criterion have been disclosed. (Attach pages as necessary to comply).

Name: <u>Waseem Chaudhary</u>	Address: <u>11 Dean Street, Madison, NJ 07940</u>	Interest: <u>100%</u>
Name: _____	Address: _____	Interest: _____
Name: _____	Address: _____	Interest: _____
Name: _____	Address: _____	Interest: _____
Name: _____	Address: _____	Interest: _____

4. OWNER'S INFORMATION

If the Owner is other than the applicant, provide the following information on the Owner(s):

Owner's Name: Danny Realty, LLCAddress: 230 Main Street, Madison, NJ 07490Telephone Number: 973-615-2032

OWNER MUST SIGN AUTHORIZATION BELOW

5. APPLICANT'S ATTORNEY (Corporations must be represented by an attorney)Name: Steven R. Tombalakian, Esq.Address: 629 Parsippany Road, Parsippany, NJ 07054Phone #: 973-403-1100Fax: 973-403-0010Email: stombalakian@weiner.law**6. APPLICANT'S ENGINEER**Name: James E. Henry, PE, PPAddress: 1904 Main Street, Lake Como, NJ, 07719Phone #: 732-974-0198Fax: 732-974-3521Email: jhenry@dynamiccec.com**7. APPLICANT'S ARCHITECT**Name: David Springsteen,Address: 1 Liberty Way, Cranbury, NJ, 08512Phone #: 609-655-9908Fax: 609-722-6226Email: dspringsteen@ksdarchitects.com**8. NATURE OF THE APPLICATION (Check applicable items)**

- | | |
|---|---|
| <input type="checkbox"/> Conceptual subdivision plan | <input type="checkbox"/> Zone change |
| <input type="checkbox"/> Minor subdivision | <input type="checkbox"/> Conceptual site plan |
| <input type="checkbox"/> Major subdivision preliminary | <input type="checkbox"/> Site plan approval, preliminary residential |
| <input type="checkbox"/> Major subdivision, final | <input checked="" type="checkbox"/> Site plan approval, preliminary non-residential |
| <input type="checkbox"/> Amendment to approved plat | <input checked="" type="checkbox"/> Site plan approval, final |
| <input type="checkbox"/> Lot line adjustment | <input type="checkbox"/> Amendments to approved site plans |
| <input checked="" type="checkbox"/> Conditional use | <input type="checkbox"/> Change of permitted use with waiver of site plan |
| <input checked="" type="checkbox"/> Use variance | <input type="checkbox"/> Wireless telecommunications application |
| <input type="checkbox"/> Variance, residential fence or deck | <input type="checkbox"/> Appeal from administrative decision |
| <input type="checkbox"/> Variance, other residential | <input type="checkbox"/> Interpretation of zoning ordinance |
| <input checked="" type="checkbox"/> Variance, other non-residential | |

9. BRIEF DESCRIPTION OF PROJECT: Indicate type of improvement, alteration, structure, or use proposed; describe all structures, improvements, and uses now on the property. For any non-residential, business, or commercial use provide hours of operation, number of employees, number of parking spaces, intention to sell or rent, and any other information important for consideration:

The proposed development includes maintaining the existing auto repair shop to be internally modified for a convenience store use and maintaining the existing fuel station with associated site improvements such as lighting, landscaping, grading, walkways, parking, driveways, and utilities.

10. DOES THE APPLICATION COMPLY WITH ALL REQUIREMENTS OF THE ZONE: If not, state violation, article, section and variance requested and state principal points on which the variance request is made. Use a separate sheet if necessary. Attach any letter or document from the Zoning Official or any other office of the Borough of Chatham which has been issued to you regarding this property.

Enclosed please find the List of Variances & Waivers for reference.

11. LIST ANY OTHER LICENSES, PERMITS OR OTHER APPROVALS REQUIRED BY MUNICIPAL, COUNTY, STATE OR FEDERAL LAW AND THE STATUS OF EACH.

Morris County Planning Board - Pending

Morris County Soil Conservation District - Pending

Chatham Water Department - Water Connection Approval - Pending

Molitor WPCF Madison Chatham Joint Meeting STP - Sewer Connection Approval - Pending

NJDOT - Enclosed please find the Letter of No Interest, - Pending

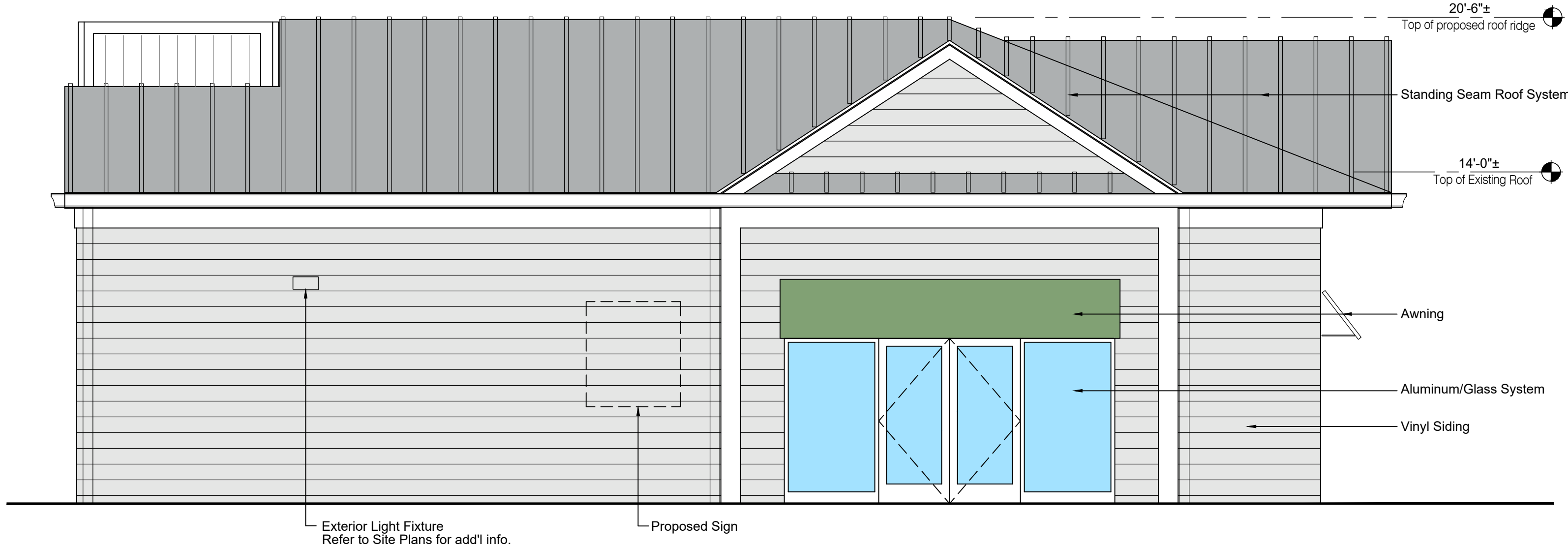
I hereby affirm that all of the above and statements contained in the papers submitted herewith are true.

Signature of the Applicant:  Date: 5/8/2023

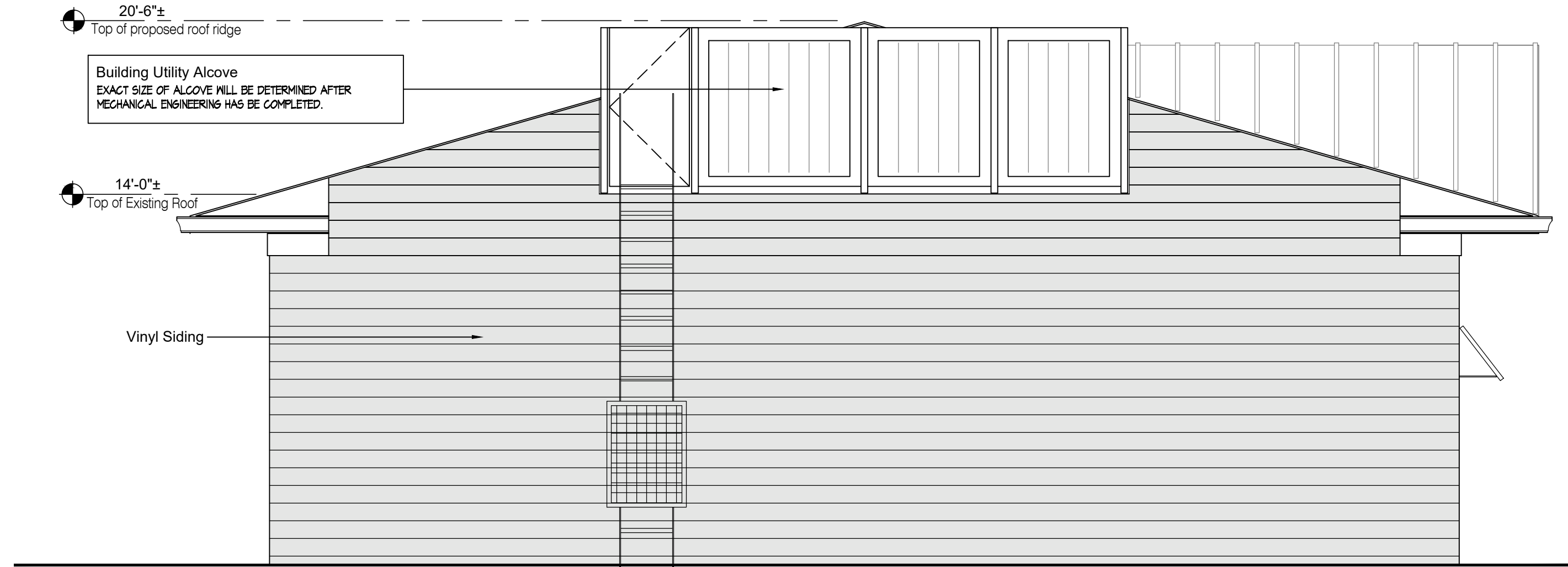
IF THIS APPLICATION IS SUBMITTED BY ANYONE OTHER THAN THE OWNER, THE OWNER MUST EXECUTE THE CONSENT WHICH IS ATTACHED TO THIS APPLICATION.



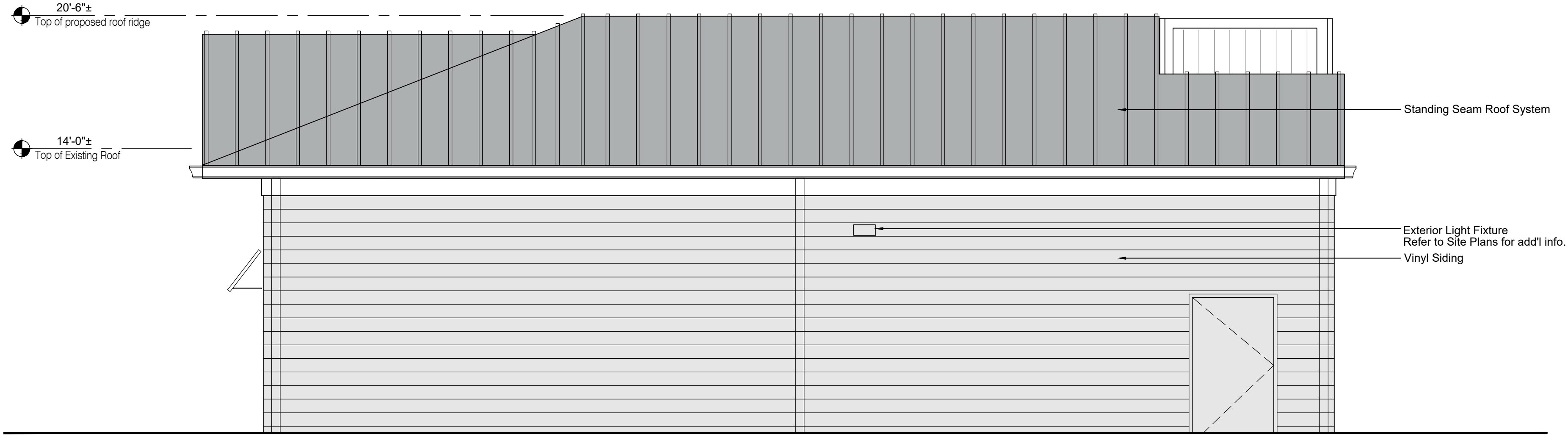
3 Proposed North Elevation
Scale; 1/4"=1'-0"



1 Proposed East Elevation
Scale; 1/4"=1'-0"

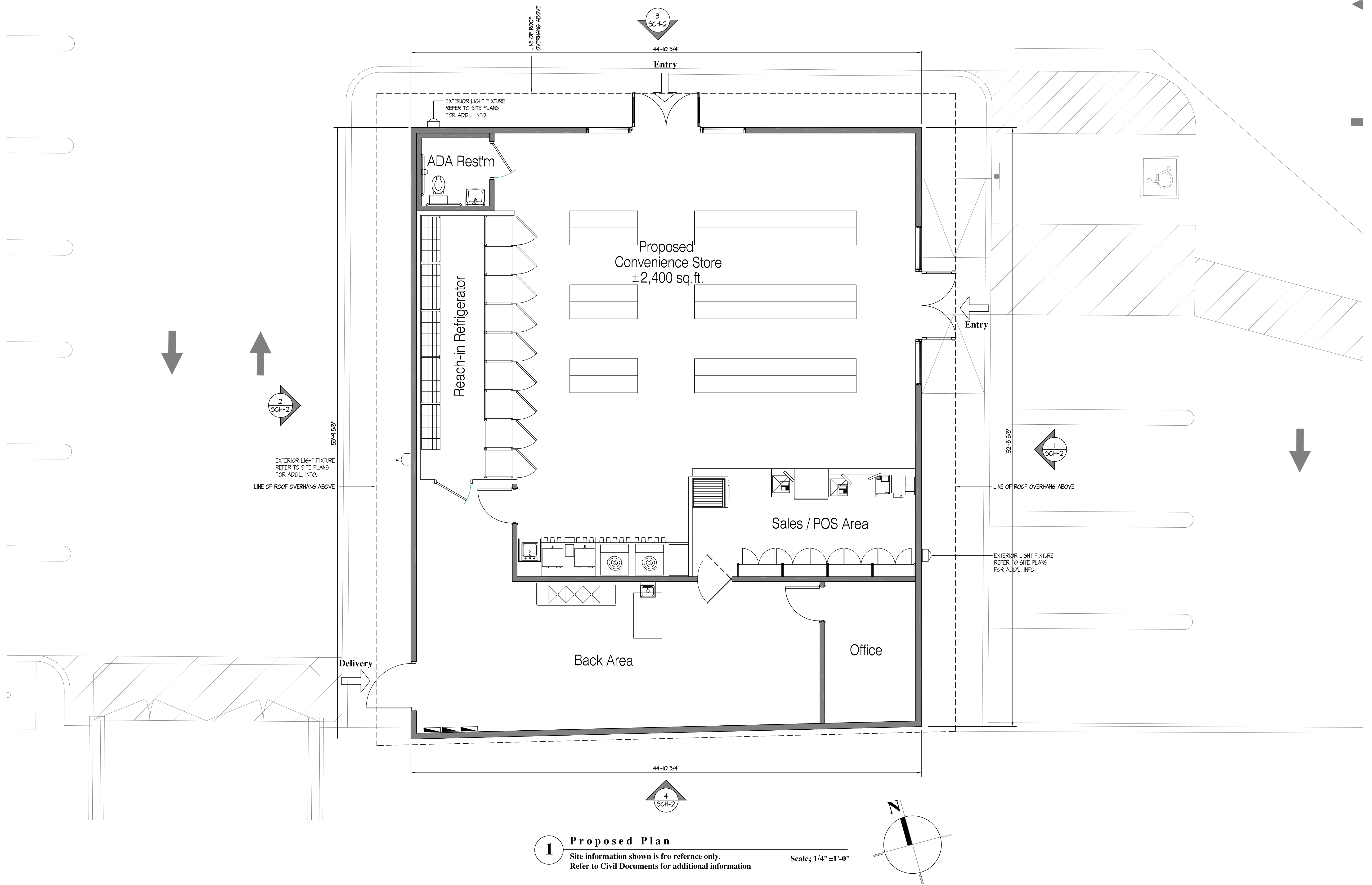


4 Proposed South Elevation
Scale; 1/4"=1'-0"



2 Proposed West Elevation
Scale; 1/4"=1'-0"

KSD #23031



1 Liberty Way
 Cranbury, New Jersey 08512
 Phone: 609/655-9908
 Fax: 609/655-9909
 E-Mail: admin@ksdarchitects.com

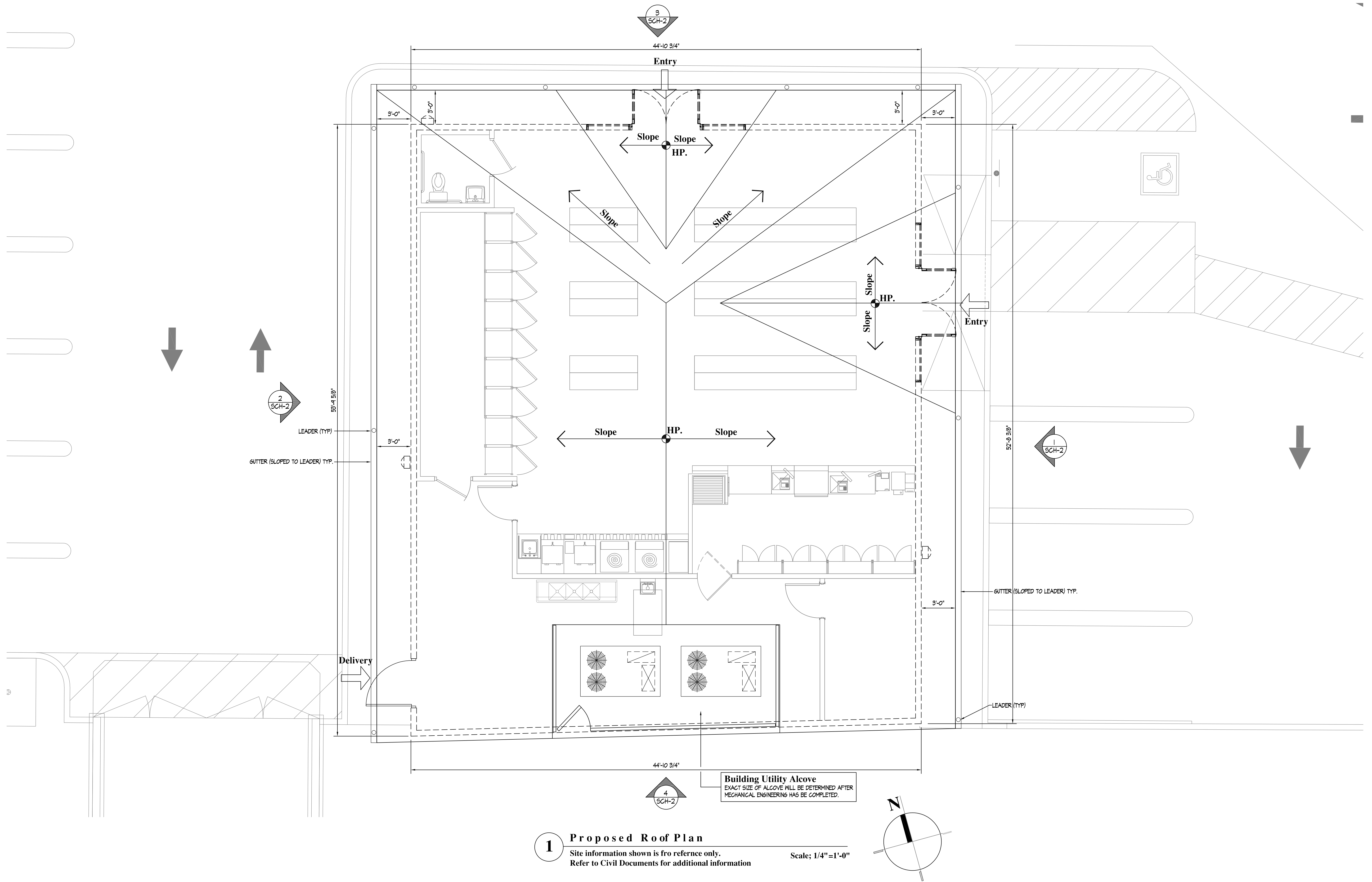
Architecture
 Laboratory Planning
 Space Planning
 Project Management
Kamlesh Shah Designs, Inc.

Convenience Store

183 Main Street, Chatham, New Jersey

SCH - 1

April 3, 2023



KSD #23031



1 Liberty Way
 Cranbury, New Jersey 08512
 Phone: 609/655-9908
 Fax: 609/655-9909
 E-Mail: admin@ksdarchitects.com

Architecture
 Laboratory Planning
 Space Planning
 Project Management
Kamlesh Shah Designs, Inc.

Convenience Store

183 Main Street, Chatham, New Jersey

SCH - 3

April 3, 2023

PRELIMINARY AND FINAL SITE PLAN

FOR

DANNY REALTY, LLC

PROPOSED RETAIL STORE

BLOCK 122, LOT 2; TAX MAP SHEET 19 - LATEST REV. DATED 6-10-2004

185 MAIN STREET (NJSH ROUTE 124) & HILLSIDE AVENUE

BOROUGH OF CHATHAM

MORRIS COUNTY, NEW JERSEY

200' PROPERTY OWNERS LIST

BOROUGH OF CHATHAM					
PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT
BOROUGH OF CHATHAM MUNICIPAL BLDG CHATHAM, NJ 07928	121	10	ERCOLANO, THOMAS JR/PAULETTE 19 HILLSIDE AVE CHATHAM, NJ 07928	123	3
CHATHAM ROBBINS PROPERTY LLC 1150 W.C. CHESTNUT ST UNION, NJ 07083	121	11	DANISHEK, JAMES H/JEROME 38 PARK ST 6-9 FLORHAM PARK, NJ 07932	123	4
CRONHEIM, ROBERT PO BOX 268 CHATHAM, NJ 07928	121	9	NORTON, MARGARET/BRIAN 27 HILLSIDE AVE CHATHAM, NJ 07928	123	5.01
ALAMAN ASSOCIATES, LIBERTY DRUG PO BOX 267 CHATHAM, NJ 07928	122	1	FORESOME GROUP, LLC 223 N. PASSAIC AVE CHATHAM, NJ 07928	123	5.02
BRISCOLL PROPERTIES, L.P. 27 BOWERS LN CHATHAM, NJ 07928	122	14-17	WHITING, DAVID E & MARGARET T 212 BROOKLAND RD FLORHAM PARK, NJ 07932	55	28
DANNY REALTY LLC 230 MAIN ST MADISON, NJ 07940	122	2	EAD MAIN ST LLC 164 MAIN STREET CHATHAM, NJ 07928	55	29
PANICO, DAVID E/ CAROLINE 24 NORTH HILLSIDE AVE CHATHAM, NJ 07928	122	4	BOROUGH OF CHATHAM MUNICIPAL BLDG CHATHAM, NJ 07928	56	15
CONNOLLY, HOPE 22 HILLSIDE AVE CHATHAM, NJ 07928	122	5	ST. PAUL S EPISCOPAL CHURCH 200 MAIN ST CHATHAM, NJ 07928	56	17
PARONE, CLEMENTINA 26 HILLSIDE AVE CHATHAM, NJ 07928	122	6	OGDEN WATSE LLC PO BOX 100 FAR HILLS, NJ 07931	56	18
AHMAD, SCHAI/SARAH 30 HILLSIDE AVE CHATHAM, NJ 07928	122	7	JACKLE FAMILY TRUST EDWARD THRO 15 FARMOUNT RD E, BOX 245 POTTERSVILLE, NJ 07979	56	19
STEPHENS, GAIL L TRUST 34 HILLSIDE AVE CHATHAM, NJ 07928	122	8	LI VOLSI, TIMOTHY J JR/ LINDSAY V 7 N HILLSIDE AVE CHATHAM, NJ 07928	56	20
NEW MAY ASSOCIATES C/O MANDLEBAUM 354 CEDARHURST PK RD 1900 LIVINGSTON, NJ 07039	123	1	ALSO TO BE NOTIFIED:		
CONLAN, GEORGE T & MARJORIE L 15 HILLSIDE AVE CHATHAM, NJ 07928	123	2	BELL ATLANTIC 540 BROAD STREET NEWARK, NJ 07102		
STEWART, RICHARD/ HOPE M 22 SUMMIT AVE CHATHAM, NJ 07928	123	23	OPTIMUM 683 RT 10 EAST RANDOLPH, NJ 07869-3799		
MILLER, WILLIAM/WINGMAN 20 SUMMIT AVE CHATHAM, NJ 07928	123	24	PSE&G MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, 168 NEWARK, NJ 07102		
SCHULTZ, RICHARD C/DARLENE M 16 SUMMIT AVE CHATHAM, NJ 07928	123	25	JCP&L AT&T/CRAIC MANDEL JCP&L REAL ESTATE 300 MADISON AVE PO BOX 1911 MORRISTOWN, NJ 07960-1911		
MARNEL ASSOCIATES LL 110 SUMMIT AVE CHATHAM, NJ 07928	123	26			

BOROUGH OF CHATHAM APPROVAL BLOCK

(A) PLAN FOR PROPOSED RETAIL STORE
BLOCK 122 LOT 22
MAP 19
ZONE B-3 (BUSINESS DISTRICT ZONE)
DATE 04/21/2023
SCALE 1"=20'

(B) I HERBY CERTIFY THAT I HAVE PREPARED THIS PLAN WITH THE ZONING BOARD OF ADJUSTMENT OF THE BOROUGH OF CHATHAM.

OWNER DATE
5/15/2023

(C) I HERBY CERTIFY THAT I HAVE PREPARED THIS PLAN AND THAT ALL DIMENSIONS AND INFORMATION ARE CORRECT.

ENGINEER TITLE & LICENCE NO.
P.E. N.J. LIC No. 49266

(D) I HAVE REVIEWED THIS PLAN AND CERTIFY THAT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

BOROUGH ENGINEER DATE
(E) TO BE SIGNED BEFORE THE ISSUANCE OF CONSTRUCTION PERMIT: I HERBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR A BOND POSTED IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

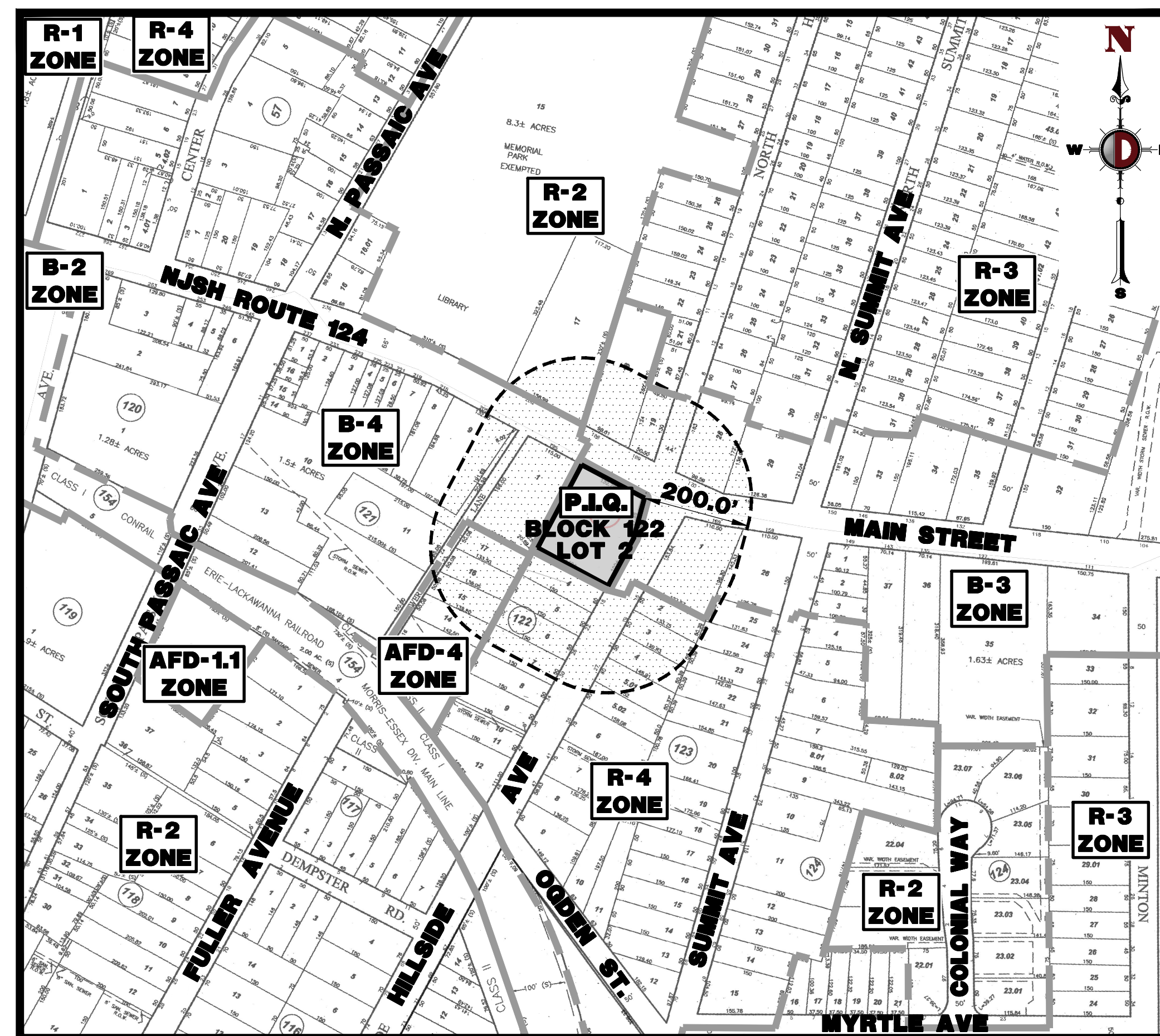
BOROUGH ENGINEER DATE
(IF BOND POSTED)

BOROUGH CLERK DATE

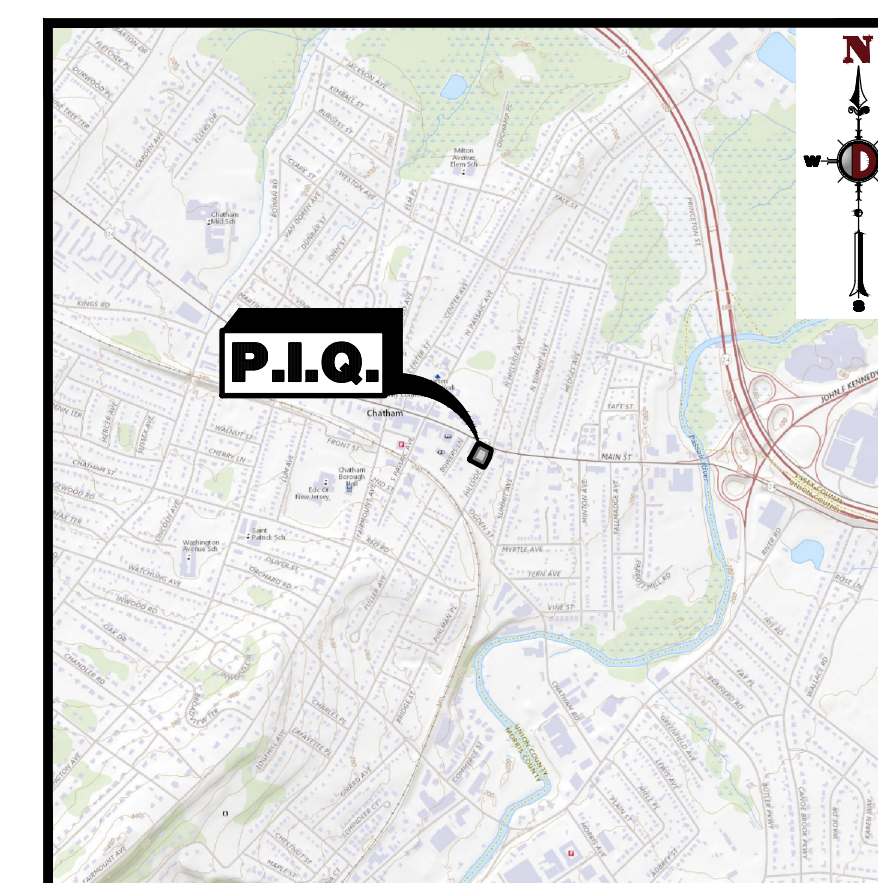
(F) APPROVED BY THE ZONING BOARD OF ADJUSTMENT
PRELIMINARY FINAL

CHAIRMAN DATE

SECRETARY DATE



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

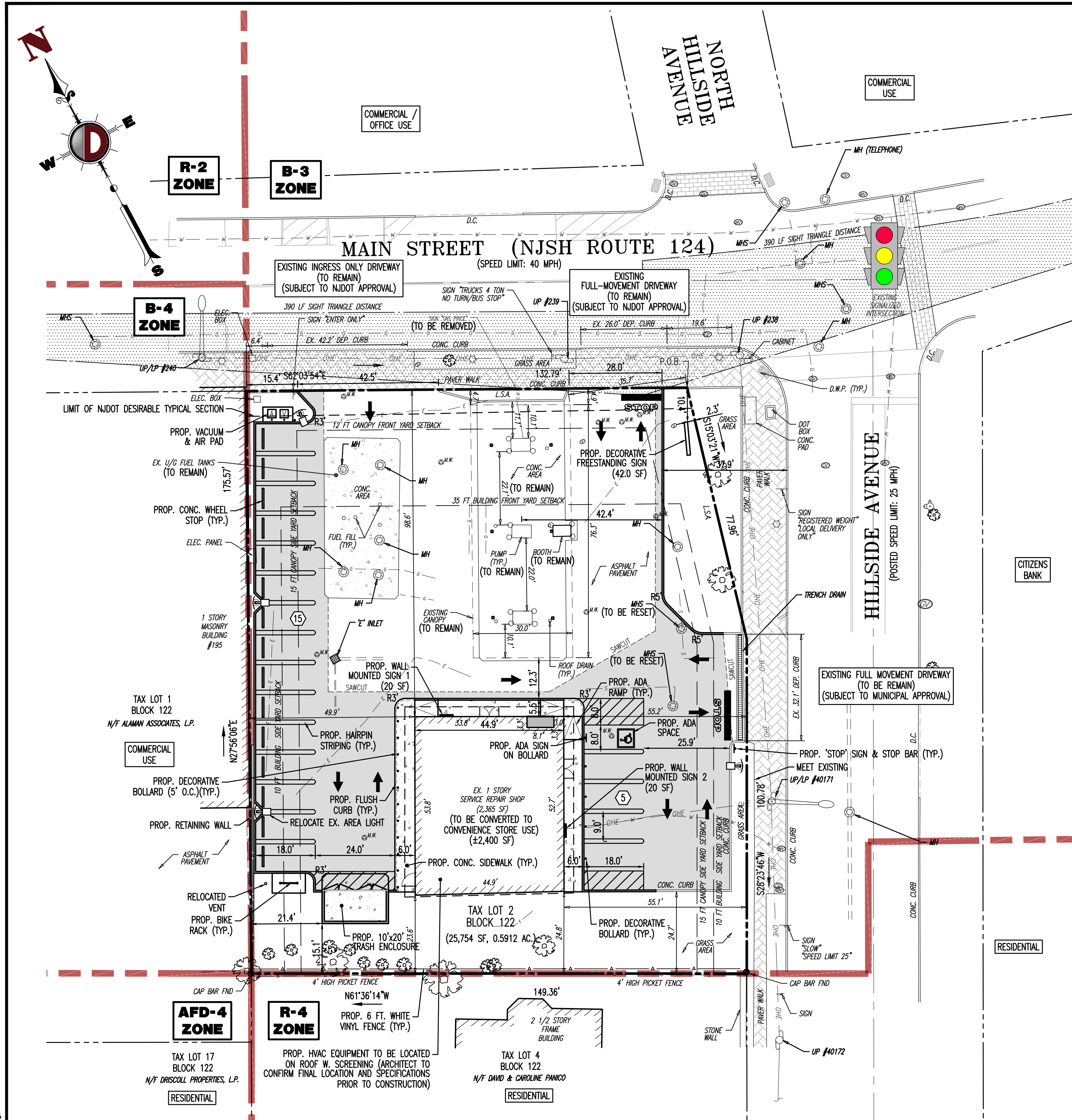
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THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING Lake Como, New Jersey 1-732-974-0198 Chester, New Jersey 1-800-879-9229 Newark, New Jersey 1-973-353-7200 Toms River, New Jersey 1-732-678-0000 Allen, Texas 1-972-334-2100 Austin, Texas 1-512-444-2444 Houston, Texas 1-281-789-4400 Long Beach, Florida 1-561-921-8570 Newtown, Pennsylvania 1-267-685-0276 Philadelphia, Pennsylvania 1-215-253-4888 Southampton, Pennsylvania 1-610-596-4400	
TITLE: COVER SHEET	
PROJECT: DANNY REALTY, LLC PROPOSED RETAIL STORE BLOCK 122, LOT 2 185 MAIN STREET (NJSH ROUTE 124) & HILLSIDE AVENUE BOROUGH OF CHATHAM, MORRIS COUNTY, NEW JERSEY	JOB No: 0141-99-146 DATE: 04/14/2023 DRAWN BY: DJB DESIGNED BY: CTD CHECKED BY: JEH CHECKED BY: -
JAMES E. HENRY PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 49266	JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908
811 PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF CONCRETE, REBAR, OR ANY OTHER PREPARED TO EXPOSE THE SERVICE FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM	

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
1904 MAIN STREET
LAKE COMO, NJ 07719
WWW.DYNAMICCEC.COM



GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
NEARMAP AERIAL, DATE CAPTURED: MARCH 21/2021
BOUNDARY AND TOPOGRAPHIC SURVEY
PREPARED BY DPK CONSULTING LLC
DATE: 11/17/2021
 - APPLICANT/OWNER:
DANNY REALTY, LLC
220 MAIN STREET
BOROUGH OF CHATHAM
MORRIS COUNTY, NJ 07940
 - PARCEL DATA:
BLOCK 122, LOT 2
185 MAIN STREET
BOROUGH OF CHATHAM
MORRIS COUNTY, NJ
 - ZONE:
ZONE B-3 (BUSINESS DISTRICT)
 - EXISTING USE:
AUTOMOBILE SERVICE STATION (CONDITIONAL USE) (§ 165-183(C))
 - PROPOSED USE:
AUTOMOBILE SERVICE STATION (CONDITIONAL USE) (§ 165-183(C))
RETAIL TRADE AND/OR RETAIL SERVICES (CONVENIENCE STORE) (PERMITTED USE) (§ 165-188(4))
MULTIPLE PERMITTED USES (NON-PERMITTED) (§ 165-84) (V)
 - SCHEDULE OF ZONING REQUIREMENTS (§ 165-22)
- | ZONE REQUIREMENT | ZONE B-3 (BUSINESS DISTRICT) | EXISTING | PROPOSED |
|--|------------------------------|-----------------------|-----------------------|
| MINIMUM LOT AREA | N/S | 25,754 SF (0.591 AC.) | 25,754 SF (0.591 AC.) |
| MINIMUM FRONT YARD SETBACK | | | |
| - BUILDING | 35 FT | 98.6 FT | 98.6 FT |
| - CANOPY | 12 FT | 4.7 FT (E) | 4.7 FT (E) |
| MINIMUM SIDE YARD SETBACK | | | |
| - BUILDING | 10 FT | 49.9 FT | 49.9 FT |
| - CANOPY | 15 FT | 35.7 FT | 35.7 FT |
| MINIMUM COMBINED SIDE YARD SETBACK | | | |
| - BUILDING | 10 FT | 103.2 FT | 103.2 FT |
| - CANOPY | 15 FT | 0 FT (E) | 0 FT (E) |
| MINIMUM BUILDING HEIGHT | 35 FT/2.5 STORIES | <35 FT/2.5 STORIES | 20.5 FT/1 STORY |
| MAXIMUM LOT COVERAGE | 75% | 79.8% (20,544 SF) (E) | 79.8% (20,505 SF) (V) |
| MAXIMUM BUILDING COVERAGE | 15% | 9.2% (2,365 SF) | 9.3% (2,400 SF) |
| MAXIMUM SF OF INDIVIDUAL (NEW) BUILDINGS | 2,500 SF | N/A | +/- 2,400 SF |
| MAXIMUM FLOOR AREA RATIO | N/S | 0.092 | 0.093 |
- N/S: NO STANDARD N/A: NOT APPLICABLE (V): VARIANCE (E): EXISTING NON-CONFORMANCE (TBD): TO BE DETERMINED

- CONDITIONAL REQUIREMENTS - SERVICE STATIONS
A. THE MINIMUM STREET FRONTAGE SHALL BE 100 FEET. (§ 165-146A) (COMPLIES)
B. NO SERVICE STATION SHALL BE LOCATED WITHIN 500 FEET OF ANY DWELLING OR WITHIN 1,000 FEET OF ANY FIREHOUSE, SCHOOL, PLAYGROUND, CHURCH, HOSPITAL, PUBLIC BUILDING OR INSTITUTION. (§ 165-146B) (E)
C. ALL APPLIANCES, PITS, STORAGE AREAS AND TRASH FACILITIES OTHER THAN GASOLINE FILLING PUMPS OR AIR PUMPS SHALL BE WITHIN A BUILDING, GASOLINE FILLING PUMPS AND AIR PUMPS SHALL BE PERMITTED WITHIN THE REQUIRED FRONT YARD SPACE OF SERVICE STATIONS BUT SHALL BE NO CLOSER THAN 25 FEET TO ANY STREET OR LOT LINE. ALL LOBBYING, REPAIR OR SIMILAR ACTIVITIES SHALL BE PERFORMED IN A FULLY ENCLOSED BUILDING AND NO DISMANTLED PARTS SHALL BE DEPOSITED OUTSIDE OF AN ENCLOSED BUILDING. (§ 165-146C) (E)
D. NO VEHICLE PARTS SHALL BE STORED ON THE PREMISES EXCEPT WITHIN AN ENCLOSED AND ROOFED BUILDING. NO MOTOR VEHICLE SHALL REMAIN ON THE PREMISES OUTSIDE AN ENCLOSED AND ROOFED BUILDING, EXCEPT FOR A MOTOR VEHICLE WHOSE OWNER IS MAKING ITS REPAIR OR DISPOSITION. IN THAT CASE, THE VEHICLE MAY REMAIN ON THE EXTERIOR OF THE PREMISES FOR A PERIOD NOT EXCEEDING SEVEN DAYS. (§ 165-146D) (COMPLIES)
E. LANDSCAPING SHALL BE PROVIDED IN THE FRONT YARD AREA EQUAL TO AT LEAST 10% OF THE FRONT YARD AREA, AND SUCH LANDSCAPING SHALL BE REASONABLY DISTRIBUTED THROUGHOUT THE ENTIRE FRONT YARD AREA. (§ 165-146E) (COMPLIES)
F. THE EXTERIOR DISPLAY AND PARKING OF MOTOR VEHICLES, TRAILERS, BOATS OR OTHER SIMILAR EQUIPMENT FOR SALE OR RENT SHALL NOT BE PERMITTED AS PART OF A SERVICE STATION. NO PARKING FOR A FEE OR CAR WASH OPERATION SHALL BE PERMITTED. (§ 165-146F) (COMPLIES)
G. SERVICE STATIONS SHALL PROVIDE SIX PARKING SPACES FOR THE FIRST LOT, WHEEL ALIGNMENT PIT OR SIMILAR WORK AREA AND AN ADDITIONAL THREE PARKING SPACES FOR EACH ADDITIONAL WORK AREA. SUCH SPACES SHALL BE SEPARATED FROM THE DRIVEWAY AND GENERAL APRON AREAS WHICH GIVE ACCESS TO THE GASOLINE AND AIR PUMPS AND SERVICE AREAS. NO DESIGNATED PARKING SPACE SHALL OBSTRUCT ACCESS TO SUCH FACILITIES. (§ 165-146G) (N/A)
H. SERVICE STATION CANOPIES MAY BE EITHER DETACHED OR ATTACHED CANOPIES. THEY SHALL BE GOVERNED BY THE FOLLOWING REQUIREMENTS:
(1) THE LOWEST STATION (EQUIVALENT TO A CEILING) OF A CANOPY SHALL BE NO MORE THAN 14 FEET ABOVE THE LOWEST POINT OF THE FINISHED SURFACE BELOW IT. (§ 165-146H(1)) (NO PROPOSED CHANGES TO EXISTING)
(2) NO SIGNS SHALL BE PERMITTED ON THE CANOPY. (§ 165-146H(2)) (COMPLIES)
(3) LIGHTING SHALL BE IN ACCORDANCE WITH § 165-78 OF THIS CHAPTER, AND LIGHTING FIXTURES SHALL BE LIMITED TO THE CEILING OF THE CANOPY. (§ 165-146H(3)) (COMPLIES)
(4) THE CANOPY ROOF SHALL BE OF A CABLE, WIP, CANOPIE OR MANSARD TYPE DESIGN, OR A FLAT ROOF WITH BEVELED SIDES. THE ANGLE OF THE BEVELING OF THE SIDES OF THE FLAT ROOF SHALL BE NO LESS THAN 30° AND NO MORE THAN 60° FROM THE VERTICAL. (§ 165-146H(4)) (COMPLIES)
(5) THE SIDE YARD SETBACK OF A CANOPY SHALL BE NO LESS THAN 15 FEET, AND THE FRONT YARD SETBACK OF A CANOPY SHALL BE NO LESS THAN 12 FEET. (§ 165-146H(5)) (E)

SIGNAGE CHART

SIGN	REQUIREMENTS	EXISTING	PROPOSED
FREESTANDING	NUMBER OF SIGNS: TWO (2) SIGNS MAXIMUM SIGN AREA: 8 SF (NONILLUMINATED) [1] OR 5 SF (OTHERS) [2] MAXIMUM SIGN HEIGHT: 7 FT MINIMUM SIGN SETBACK: 5 FT [3] MINIMUM CLEARANCE: N/S NUMBER OF WALL SIGNS: ONE (1) SIGN PER FACADE MAXIMUM WALL SIGN AREA [5][6][7]: 20 SF PER SIGN OR TOTAL 10% OF FACADE AREA NORTH FACADE: 10% OF (14' X 44.90') = 62.86 SF EAST FACADE: 10% OF (14' X 52.7') = 73.78 SF MAX. PROJECTION: 4 IN MAX HEIGHT OF SIGN GRAPHICS: 12 IN	NUMBER OF SIGNS: TWO (2) SIGN AREA: EXXON SIGN: 24.13 SF (E) PRICER SIGN: 19.13 SF (E) EXXON SIGN: 11.28 FT (E) PRICER SIGN: 11.00 FT (E) EXXON SIGN: 2.3 FT (E) PRICER SIGN: 0.27 FT (E) EXXON SIGN: 7.60 FT PRICER SIGN: 6.5 FT SIGN HEIGHT: 9'-10" (V) SIGN SETBACK: 2.3 FT (V) SIGN CLEARANCE: 3 FT NUMBER OF SIGNS: TWO (2) [E] SIGN AREA: NORTH FACADE: EXXON SIGN: 12.95 SF OIL SERVICE SIGN: 36.0 SF TOTAL: 48.95 SF EAST FACADE: N/A PROJECTION: N/A HEIGHT OF SIGN GRAPHICS: NORTH FACADE: EXXON SIGN: 2.35 FT (V) OIL SERVICE SIGN: 1.75 FT EAST FACADE: N/A	NUMBER OF SIGNS: ONE (1) SIGN AREA: 42 SF (V) SIGN HEIGHT: 9'-10" (V) SIGN SETBACK: 2.3 FT (V) SIGN CLEARANCE: 3 FT NUMBER OF SIGNS: ONE (1) SIGN AREA: NORTH FACADE: TIGER MART SIGN 1: 20 SF EAST FACADE: TIGER MART SIGN 2: 20 SF PROJECTION: NORTH FACADE: TIGER MART SIGN 1: < 4 IN EAST FACADE: TIGER MART SIGN 2: < 4 IN HEIGHT OF SIGN GRAPHICS: NORTH FACADE: TIGER MART SIGN 1: < 12 IN EAST FACADE: TIGER MART SIGN 2: < 12 IN

- [1] IF NONILLUMINATED, OR IF EXTERNALLY ILLUMINATED AND CONSTRUCTED OF WOOD, MATERIAL RESEMBLING WOOD OR MASONRY MATERIALS, A SIGN MAY NOT EXCEED EIGHT SQUARE FEET. (§ 165-105.B(2)(A))
- [2] ANY OTHER FREESTANDING SIGNS, INCLUDING THOSE INTERNALLY ILLUMINATED, MAY NOT EXCEED FIVE SQUARE FEET. (§ 165-105.B(2)(B))
- [3] THE SIGN SHALL BE AT LEAST FIVE FEET FROM ANY PROPERTY LINE. SHOULD THERE BE LESS THAN 12 FEET BETWEEN THE STREET FRONT PROPERTY LINE AND THE BUILDING FOUNDATION, THE SIGN SHALL BE CENTERED BETWEEN THE BUILDING AND THE PROPERTY LINE, BUT IN NO CASE CLOSER THAN THREE FEET FROM THE SIDEWALK OR, IF THERE IS NO SIDEWALK, THE PROPERTY LINE. SIGNS SHALL NOT BE PLACED WITHIN THE AREA AT A STREET CORNER WHERE THERE SHOULD BE A SIGHT EASEMENT AS DESCRIBED IN THIS ARTICLE. (§ 165-105.B(4))
- [4] VERBIAGE PLACED ON AWNINGS OR CANOPIES SHALL BE LIMITED TO IDENTIFICATION OF THE BUSINESS. SUCH VERBIAGE MAY IDENTIFY THE BUSINESS NAME, THE STREET ADDRESS, A SHORT PRODUCT IDENTIFIER, AND/OR A LOGO OR EMBLEM. SUCH VERBIAGE SHALL BE LIMITED TO LOCATION ON THE FRINGE OF THE AWNING OR CANOPY, EXCEPT THAT A BUSINESS LOGO OR EMBLEM MAY BE PLACED ON THE SLOPE OF THE AWNING OR CANOPY AS LONG AS IT IS CENTERED AND DOES NOT EXCEED 10% OF THE AREA OF THE AWNING OR CANOPY. (§ 165-105.D(1))
- [5] FOR THE PURPOSE OF WALL SIGNS, IN A BUILDING WHOSE GROUND FLOOR IS DIVIDED SIDE TO SIDE INTO SEPARATE UNITS WITH SEPARATE FRONT ENTRANCES, EACH UNIT SHALL BE TREATED AS HAVING A SEPARATE FRONT FACADE. (§ 165-105.A(1)(D))
- [6] THE TOTAL AREA OF ALL SIGNS ON A FACADE OF A BUILDING THAT FACE A PUBLIC STREET, PUBLIC ROW OR MUNICIPAL PARKING LOT SHALL NOT EXCEED 10% OF THE SQUARE FOOTAGE OF THE GROUND FLOOR PORTION OF THE FACADE. (§ 165-105.A(1)(A))
- [7] INTERNALLY ILLUMINATED SIGNS SHALL NOT BE PERMITTED IN THE B-3 AND B-4 DISTRICTS. IN ALL OTHER DISTRICTS, INTERNALLY ILLUMINATED SIGNS SHALL ILLUMINATE ONLY THE LETTERING OR LOGO, AND THE BACKGROUND SHALL BE OPAQUE OR DARK. (§ 165-102.A(3)) (V)

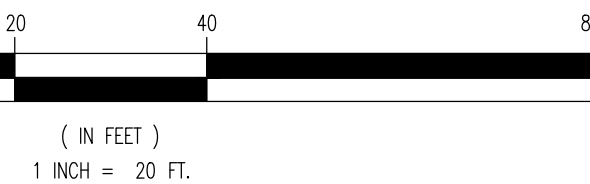
GENERAL NOTES

- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WARNERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WARNERS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AGENCIES.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGI). ALL CONTRACTORS MUST HAVE THEIR CGI POLICES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. - ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNIFY FOLLOWING REQUIREMENTS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON REVIEWING EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS MUST, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES OR SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION METHODS, METHODS, SEQUENCES, TECHNIQUES OR PROCEDURES FOR PERFORMING, SUPERVISING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY APPLICABLE STATE OR FEDERAL LAWS, ORDINANCES, RULES AND REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MAINTAINED INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMISSIONS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS OR FOR THE WORK WITH CONSTRUCTION OF THE PROJECT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THE AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT SUBCONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND WITHOUT FIRST BEING RESPONSIBLE FOR THE PAYMENT OF ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS INDICATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, PORCHES, DECKS, BALCONIES, ETC. OR OTHER STRUCTURES OR ELEMENTS THAT ARE NOT NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND PERMEABILITY TEST RESULTS IN THE REPORT AND MANIFESTS HIS AGREEMENT THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF THE SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. IF PARKING SPACES AND TRAVEL ASSOCIATED DRIVEWAYS AND ACCESSIBLE ROUTE MUST COMPLY WITH N.J.A.C. 52:27-7 AND THE HANDCAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

NOTE: THE HOURS OF OPERATION FOR THE GAS STATION SHALL BE 6AM TO 10PM

EXISTING UTILITIES SHALL REMAIN

GRAPHIC SCALE



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING Little Combs, New Jersey 1-732-974-0198 Chester, New Jersey 1-732-974-9229 Newark, New Jersey 1-732-974-2000 Toms River, New Jersey 1-732-478-0000 Allen, Texas 1-732-334-2000 Houston, Texas 1-732-334-2000 Lakeland Beach, Florida 1-561-921-8570 Newark, Pennsylvania 1-215-263-2276 Philadelphia, Pennsylvania 1-215-253-4888 Springfield, Pennsylvania 1-610-998-4400		1934 Main Street Little Combs, NJ 07719 T: 732.974.0198 F: 732.974.3521 www.dynamiceng.com	
TITLE: SITE PLAN			
PROJECT: DANNY REALTY, LLC BLOCK 122, LOT 2 185 MAIN STREET (NJSH ROUTE 124) & HILLSIDE AVENUE BOROUGH OF CHATHAM, MORRIS COUNTY, NEW JERSEY		JOB No: 0141-99-146 DRAWN BY: DJB DESIGNED BY: CTD CHECKED BY: JEH CHECKED BY: -	
DATE: 04/14/2023		SCALE: (H) 1"=20' (V)	
SHEET No: 4		OF 13	
PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 49266		PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908	
ALL STATE REQUIREMENTS OF CONTRACT, ORDINANCES, OR ANY OTHER PRELIMINARY TO OBTAIN THE SERVICE LICENSE NUMBER IN NJ ARE FURNISHED BY THE ENGINEER.		FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: www.call811.com	

- FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON.
- | | |
|-------------------------|------------------------|
| ACER RUBRUM | POPULUS VARIETES |
| BETULA VARIETES | PRUNUS VARIETES |
| CARPINUS VARIETES | PRIVUS VARIETES |
| CORYLUS VARIETES | QUERCUS VARIETES |
| KOELERUTERA | SALIX WEEPING VARIETES |
| LIGUSTRUM STRYCKELFIA | TAXA TOMENTOSA |
| LINDRODENDRUM TULIPFERA | TELEKIDAN VARIETES |
| PLATANUS ACERIFOLIA | |
- ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF CORRECTION SHALL BE REMOVED FROM THE RECORDS WITHIN THE PREVIOUS OR NEXT APPROPRIATE SEASON.
- ALL LOTS DISTURBED ARE TO BE TREATED WITH TOPSOIL, SEED SOIL STABILIZATION METHOD.

1. SCOPE OF WORK:
A. THIS WORK SHALL CONSIST OF EXCAVATING, CLEANING, AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER REQUIREMENTS NECESSARY FOR THE COMPLETION OF THIS PROJECT.

2. MATERIALS
A. CONSTRUCTION - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION OR APPROVED COPY).
1. PLANTS - ALL PLANTS SHALL BE HEALTHY OR NEARLY-GROWN, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
2. FERTILIZER - FERTILIZER SHALL BE ANALYZED AND FOUND TO BE NO LESS THAN 5% PHOSPHORUS AND 15% NITROGEN.
3. MULCH - FOUR (4) INCHES DOUBLE SHIPPED, HAWKWOOD BARK MULCH.
4. MULCH - FOUR (4) INCHES DOUBLE SHIPPED, HAWKWOOD BARK MULCH.
5. WOOD - TWO (2) INCHES, WEATHER WATER AND OAK LOGS.

3. FERTILIZER AND SOIL CONDITIONER - PLANTING AREAS
A. FERTILIZER SHALL BE ANALYZED AND FOUND TO BE NO LESS THAN 15% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO "NITROGENUM".
B. ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE "GRO-POWER" AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATERIALS COMPOSED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POLYUREA OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1): NITROGEN 5%.

4. GENERAL WORK PROCEDURES
A. WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEPT CLEAN AT THE END OF EACH DAY'S WORK.

5. WEEDING
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

6. TOPSOILING
A. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL, PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL, UTILIZED IN ALL PLANTING AREAS, ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.

7. SOIL CONDITIONING
A. PLANTING AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
20 POUNDS "GRO-POWER"
20 POUNDS AGRICULTURAL GYPSUM
20 POUNDS NITROGEN (COURSE) 35-0-0 BLUE CHIP

8. SOIL MOTIVATIONS

SLOPE MODIFICATIONS:

A. THOROUGHLY TILL ORGANIC MATTER INTO TOP 10" TO 12" IN. OF MOST PLANTING SLOES TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS.

B. HEAVILY COMPACTED SAND, GRAVEL, OR MOST OF ANY OTHER DEPOSITS SHOULD BE COMPOSED TO A DARK COLOR AND BE FREE OF PEGRITS WITH DENTIFIABLE LEAF OR WOOD STRUCTURE. ADD MATERIAL WITH A pH HIGHER THAN 7.5.

C. HEAVY LAYER OF CLAY OR CLAYEY SILT SHOULD BE REMOVED BY SHEDDING OR DISSEMINATING PINE BARK (10% TO 30% BY VOLUME) AND/OR CYPRISSUM COARSE SAND MAY BE USED IF ENOUGH IS AVAILABLE TO BRING THE SAND CONTENT TO MORE THAN 70% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON SANDY AREAS AND/OR INCLUDING SANDY AREAS TO BE COVERED BY ADDING ORGANIC MATTER AND/OR DRY, SHEDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

C. MOODY EXTREMELY SANDY SOILS SHOULD BE MIXED WITH 10% TO 20% OF ADDITIONAL ORGANIC MATTER AND/OR DRY, SHEDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

4. PLANTING

A. PREPARE TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

B. PREPARE PITS TO MATCH BACK TO BACK OR END TO END. PITS SHOULD BE 18" DEEPER THAN THE SPECIFIED ROOT BALL DIAMETER. THE PITS SHOULD BE 18" WIDER THAN THE GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

- 1. PART COMPACTED PINE BARK BY VOLUME
- 1. PART COMPACTED SAND BY VOLUME
- 1. PART COMPACTED SAND BY VOLUME
- 2. PARTS TOPSOIL BY VOLUME

C. PLANT 2" OR 4" CALIBER PLANTS IN PLANT PIT

- 2. TABLETS PER 1" GAL PLANT
- 2. TABLETS PER 1" GAL PLANT
- 2. TABLETS PER 1" GAL PLANT

D. LARGER PLANTS (2") TWO TABLETS PER 1/2" DIAL OR TRUNK CALIBER

E. BE TAPEED FAIRLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2" WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.

F. PLANTING SHALL BE SET AS THUS, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED.

G. PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.

H. AFTER PLANTING, WATER PLANTING AREA. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.

I. PLANTING TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 2" BRANCHING HEIGHT.

5. GROUND COVER

A. ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS BENEATH THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.

B. PLANTING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.

C. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.

D. GROUND COVER AREAS SHALL BE TREATED WITH AN INSECTICIDE. CONTRACTOR SHALL INSPECT GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT, PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.

6. FINISH

A. ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS 1 FOOT OF FINISH GRADE.

B. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO APPROPRIATE CHANGE OF SURFACE, UNLESS OTHERWISE SPECIFIED BY LANDSCAPE ARCHITECTURE. PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO APPROPRIATE CHANGE OF SURFACE.

C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.

7. MAINTENANCE

A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD.

8. CLEANUP

A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROWN CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

B. MAINTAIN DRAINAGE CHANNELS AND GUTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING AREAS, THICKETS AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED OR WORN PLANTING MATERIALS AS REQUIRED.

C. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO REPLACE A FADING OR WEARING LAWN.

D. MAINTAIN TREES AND SHRUBS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH.

9. MAINTENANCE (ALTERNATE BID) COST PER MONTHLY AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

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 YOUR MART <small>AMERICAN EXPRESS • M.C. • VISA • MC2 • DISCOVER • AMEX • STARBUCKS</small>	PROJECT: DANNY REALTY, LLC		JOB NO:	0141-99-146	DATE:	04/14/2013
	PROPOSED RETAIL STORE		DRAWN BY:	DJB	CSCALE:(H) 1"=20'	(V)
	BLOCK 122 LOT 2		DESIGNED BY:	CTD	SHEET No:	
	185 MAIN STREET (NJSH ROUTE 124) & HILLSIDE AVENUE BOROUGH OF CHATHAM, MORRIS COUNTY, NEW JERSEY		CHECKED BY:	JEH		
		CHECKED BY:	-			
JAMES E. HENRY PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 49266		MARLA A. ROLLER LICENSED LANDSCAPE ARCHITECT NEW JERSEY LICENSE NO. 21AS00053700				



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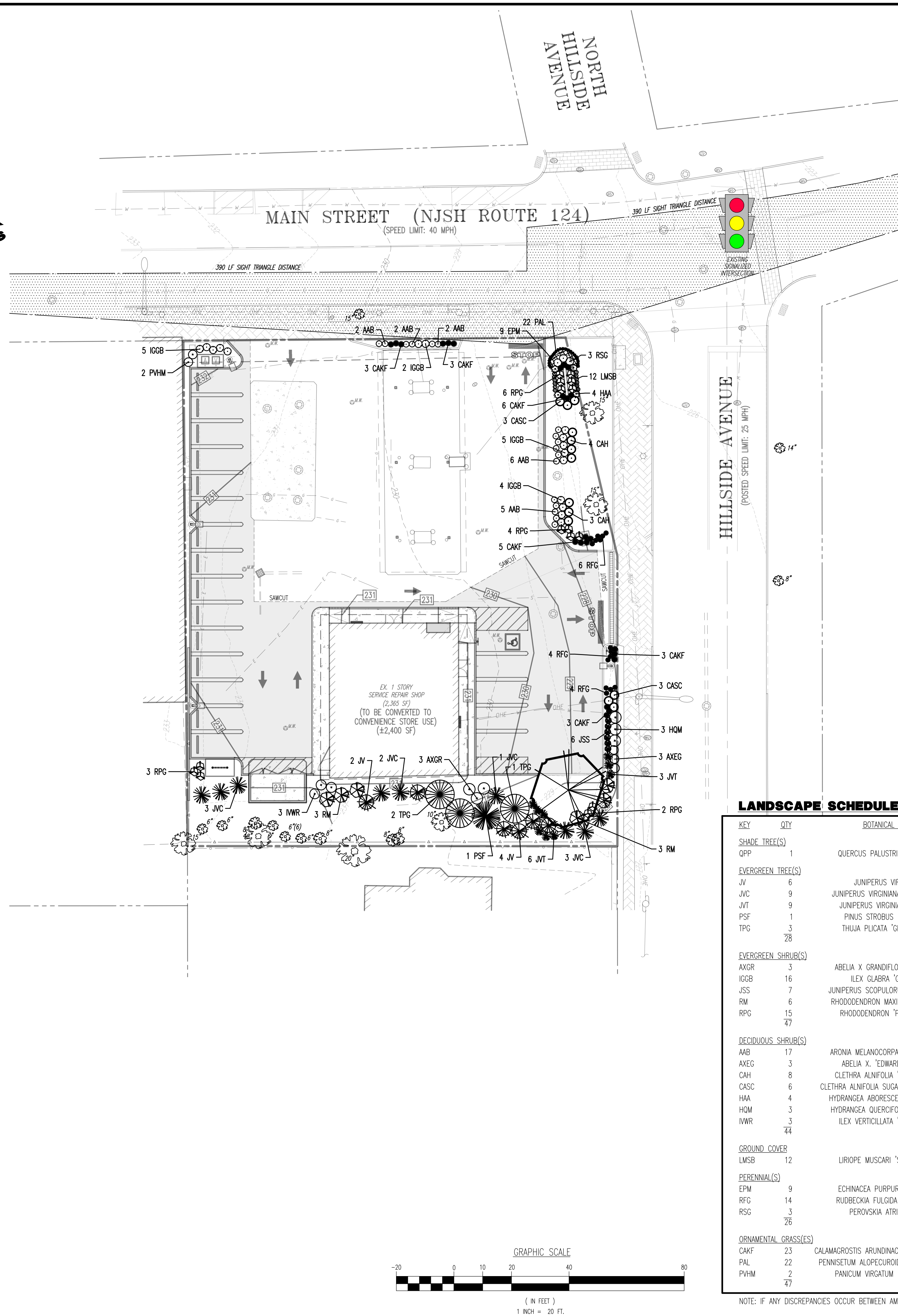
PROTECT YOURSELF

ALL STATES REQUIRE NOTIFICATION OF ALL UTILITIES BEFORE ANY EXCAVATION BEGINS TO PREVENT THE DAMAGE TO UNDERGROUND UTILITY LINES AND PERSONAL INJURY OR DEATH TO THOSE INVOLVED IN THE PROJECT. CALL BEFORE YOU DIG.

FOR STATE SPECIFIC SUBJECT PHONE NUMBERS VISIT:
WWW.CALLBEFOREUDIG.COM

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 Rev. # 1



Photograph Location Report

Block 122, Lot 2
185 Main Street (NJSH Route 124) & Hillside Avenue
Borough of Chatham
Morris County, NJ



Key:



= Photo Location



Photo 1: Photo of the existing western parking aisle from the southwestern corner of the lot facing north.



Photo 2: Photo along the eastern property line from the existing driveway on Hillside Avenue facing north.



Photo 3: Photo along the northern property line of the existing gas canopy to remain from the northeast driveway facing west.



Photo 4: Photo along the northern property line from the northwestern driveway facing east.



Photo 5: Photo of building front from eastern side of canopy facing south.