

Dynamic Engineering Consultants, PC 1904 Main Street Lake Como, NJ 07719 T. 732-974-0198

June 28, 2023 Via Hand Delivery & Newforma (boroughclerk@chathamborough.org)

Borough of Chatham Zoning Board of Adjustment 54 Fairmount Avenue Chatham, NJ 07928

Attn: Vanessa L. Nienhouse, RMC

Municipal Clerk

RE: Danny Realty, LLC

Proposed Retail Store Block 122, Lot 2

185 Main Street (NJSH Route 124) &

Hillside Avenue Borough of Chatham Morris County, NJ DEC# 0141-99-146

Ms. Nienhouse,

On behalf of the Applicant, Danny Realty LLC, enclosed please find the following documents constituting the formal submission to the Borough of Chatham Zoning Board of Adjustment towards issuance of Preliminary and Final Major Site Plan approval for the above referenced project:

- Fourteen (14) copies of the signed and completed Application for Development, including the Permission to Enter Applicant's Property, and applicable checklists;
- Fourteen (14) copies of the signed and completed Tree Removal Application, dated 05/08/2023;
- Fourteen (14) copies of the sample public notice, prepared by Steven R. Tombalakian, Esq.;
- Fourteen (14) copies of the Tax Certification from the Borough Tax Collector;
- Fourteen (14) copies of the letter from the Borough Water and Sewer Department that all Borough fees and charges are paid;
- Fourteen (14) copies of the 200-foot Property Owners List from the Borough of Chatham Tax Assessor's office;

- Fourteen (14) copies of the Photo Location Report, prepared by our office, dated 06/2023;
- Fourteen (14) copies of the List of Variances and Waivers, prepared by our office, dated 06/2023;
- Fourteen (14) copies of the Borough of Chatham Planning Board Letter of Denial, prepared by Glen Turi, dated June 1, 2023;
- Fourteen (14) copies of James E. Henry, PE, PP, Suchita K. Shah, RA AIA, NCARB, LEED, and Kamlesh Shah, RA AIA's Qualifications;
- Fourteen (14) copies of the Morris County Planning Board Submission Letter, prepared by our office, dated 06/09/2023;
- Fourteen (14) copies of the Morris County Soil Conservation Submission Letter, prepared by our office, dated 06/09/2023;
- Fourteen (14) copies of the New Jersey Department of Transportation Letter of No Interest Determination Submission Letter, prepared by Dynamic Traffic, dated 05/24/2023;
- Fourteen (14) copies of the statement of reasons why the application is necessary, prepared by our office;
- Fourteen (14) signed and sealed copies of the Environmental Impact Statement, prepared by our office, dated 06/2023;
- Fourteen (14) signed and sealed copies of the Drainage Report, prepared by our office, dated 06/2023;
- Fourteen (14) signed and sealed copies of the Traffic Impact Statement, prepared by Dynamic Traffic, dated 05/11/2023:
- Fourteen (14) signed and sealed copies of the Boundary and Topographical Survey, prepared by DPK Consulting, LLC, dated 11/17/2021;
- Fourteen (14) copies of the Architectural Plans, prepared by Kamlesh Shah Designs Inc., dated 04/03/2023; and
- Fourteen (14) signed and sealed copies of the Preliminary and Final Major Site Plans, prepared by our office, dated 04/14/2023, last revised 06/09/2023.

We request you please review the enclosed documents towards Preliminary and Final Major Site Plan Approval for the above referenced project.

Should you have any questions, comments, or require additional information, please do not hesitate to contact the undersigned.

Sincerely,

DYNAMIC ENGINEERING CONSULTANTS, PC

James E. Henry, PE, PP

Conor Daly

Enclosures

cc: Waseem Chaudhary (via Email)

Kamlesh Shah (via Newforma) David Springsteen (via Newforma) Steven R. Tombalakian (via Newforma) James M. Turteltaub (via Newforma)

BOROUGH OF CHATHAM Borough of Chatham, Fairmount Avenue, Chatham, New Jersey 07928 APPLICATION FOR DEVELOPMENT Date of First Submission: 04/xx/2023 [] Planning Board Valid Application Date: TBD Board of Adjustment App. Number: TBD Completeness Date: TBD 1. PROPERTY INFORMATION Address: 185 Main Street (NJSH Route 124), Borough of Chatham, NJ Zone: B-3 (Business District) Zone Tax Map Number: #19 Block: 122 Lot(s): 2 Present Use: Automobile Service Station Has there been any previous application involving these premises by the applicant or any prior owner of the property? Yes () No () Unknown If yes, nature of application, date and determination: Prior site plan approval in or around 1993 (resolution cannot be located despite best efforts); Sign Permit Application dated 08/15/2022 Does the applicant own adjacent property? () Yes (No If yes, address of property: Restrictions, covenants, easements, association by-laws, existing or proposed on the property: () Yes [attach copies] No () Proposed 2. APPLICANT INFORMATION Name: Danny Realty, LLC Address: 230 Main Street City/State/Zip: Madison, NJ 07490 Fax: Email: waseem@waseempetroleum.com Phone #: 973-975-7782 Applicant is a(n): () Individual Partnership () Corporation CONTACT FOR APPLICATION Name: James E. Henry, PE, PP - Principal - Dynamic Engineering Consultants, PC Address: 1904 Main Street City/State/Zip: Lake Como, NJ 07719 Phone #: 732-615-2032 Fax: 732-974-3521 Email: jhenry@dynamicec.com 3. DISCLOSURE STATEMENT Pursuant to N.J.S.A. 40:55D-48.1, the names and addresses of all persons owning 10% of the stock in a corporate applicant of 10% interest in any partnership application must be disclosed. In accordance with N.J.S.A. 40:55D-48.2 that disclosure requirement applies to any corporation or partnership which owns more than 10% interest in the applicant followed up in the chain of ownership until the names and addresses of the non-corporate stockholders and partners exceeding the 10% ownership criterion have been disclosed. (Attach pages as necessary to comply). Name: Waseem Chaudhary Address: 11 Dean Street, Madison, NJ 07940 Interest: 100% Interest: Address: Name: Interest: Address: Name: _____ Address: Interest: Name: Interest: Address: Name: 4. OWNER'S INFORMATION

If the Owner is other than the applicant, provide the following information on the Owner(s):

Owner's Name: Danny Realty, LLC

Address: 230 Main Street, Madison, NJ 07490

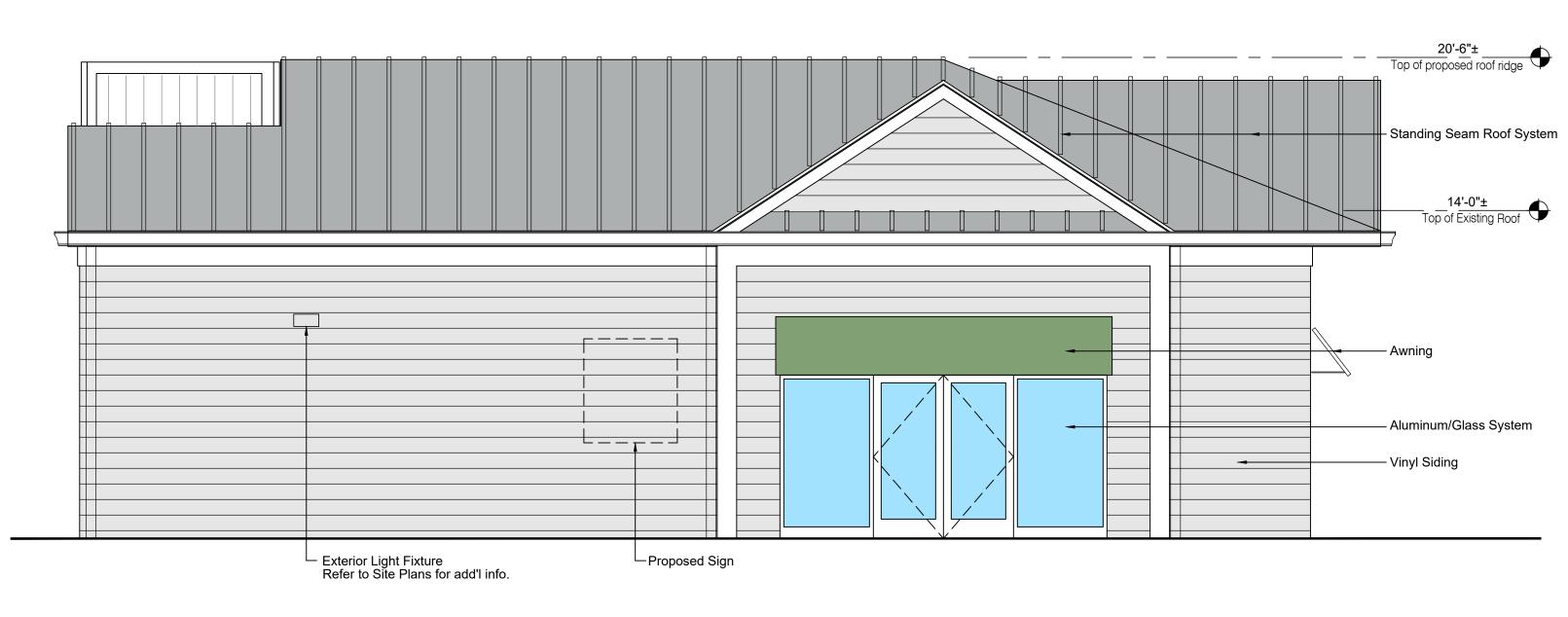
Telephone Number: 973-615-2032

OWNER MUST SIGN AUTHORIZATION BELOW

Name: Steven R. Tombalakian, Esq. Address: 629 Parsippany Road, Parsippany Phone #: 973-403-1100 Fax 6. APPLICANT'S ENGINEER	any, NJ 07054 :: 973-403-0010	Email: stombalakian@weiner.law
Phone #: 973-403-1100 Fax		Email: stombalakian@weiner.law
6. APPLICANT'S ENGINEER		
Name: James E. Henry, PE, PP	N.I. 07740	
Address: 1904 Main Street, Lake Como,		Paralle is a contract of
Phone #: 732-974-0198 Fax	: 732-974-3521	Email: jhenry@dynamicec.com
7. APPLICANT'S ARCHITECT		
Name: David Springsteen,	0513	
Address: 1 Liberty Way, Cranbury, NJ, 0		Emoils desired to a Skadovskita to com
Phone #: 609-655-9908 Fax	: 609-722-6226	Email: dspringsteen@ksdarchitects.com
8. NATURE OF THE APPLICATION	ON (Check appli	cable items)
proposed; describe all structures, implies, or commercial use provide intention to sell or rent, and any other. The proposed development includes main	OJECT: Indicate provements, and hours of operation importantion importanting the existing are existing fuel station.	auto repair shop to be internally modified for a n with associated site improvements such as lighting,
violation, article, section and variance	requested and st y. Attach any lett ch has been issued	
	R FEDERAL LA Pending ection Approval - Peting STP - Sewer C	Connection Approval - Pending

I hereby affirm that all of the above and statements contained in the papers	submitte	d here	with a	are true.	
Signature of the Applicant:	Date:	5	[8]	2023	_
IF THIS APPLICATION IS SUBMITTED BY ANYONE OTHER THAT MUST EXECUTE THE CONSENT WHICH IS ATTACHED TO THIS A				THE OWN	ÆR



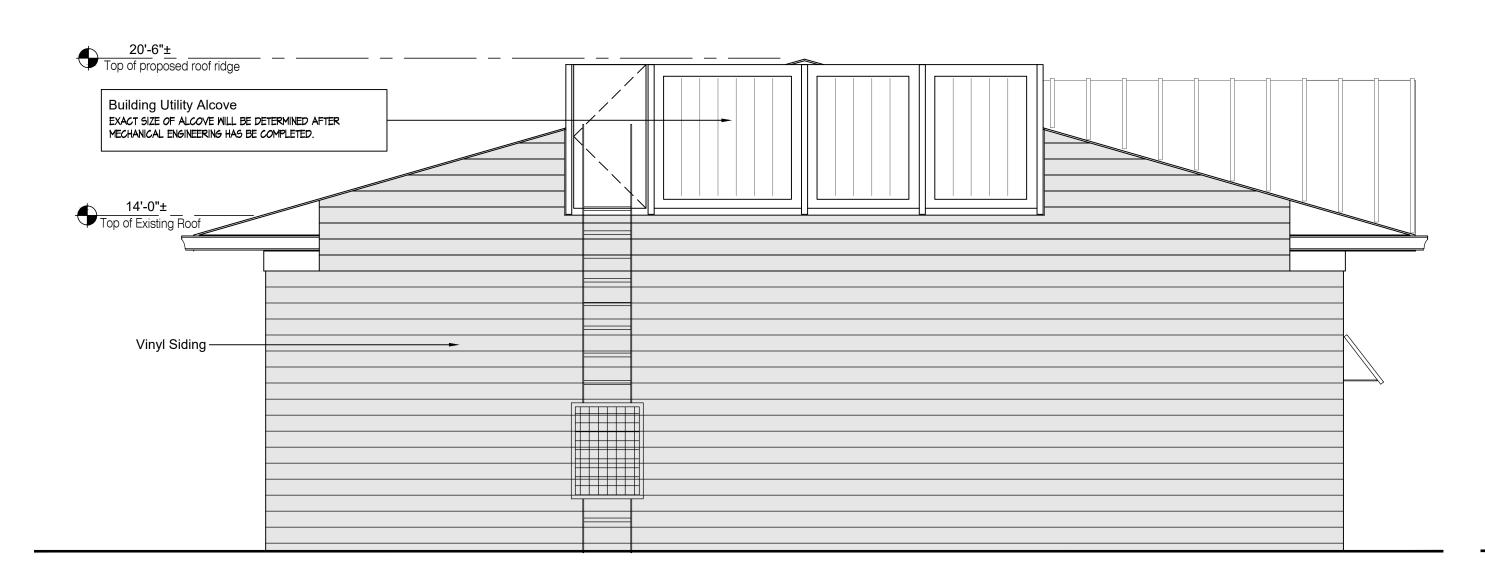


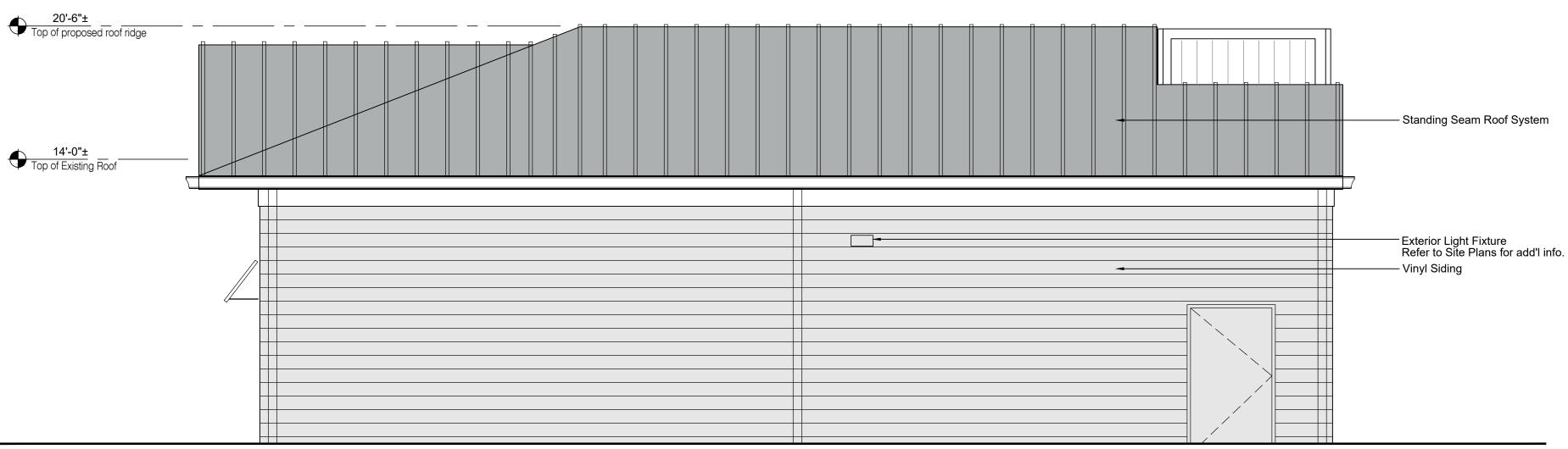
Proposed North Elevation

Scale; 1/4"=1'-0"

Proposed East Elevation

Scale; 1/4"=1'-0"





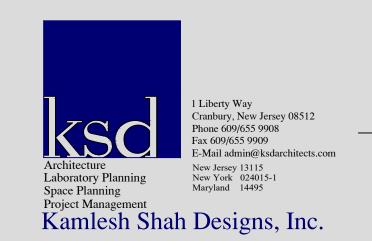
Proposed South Elevation

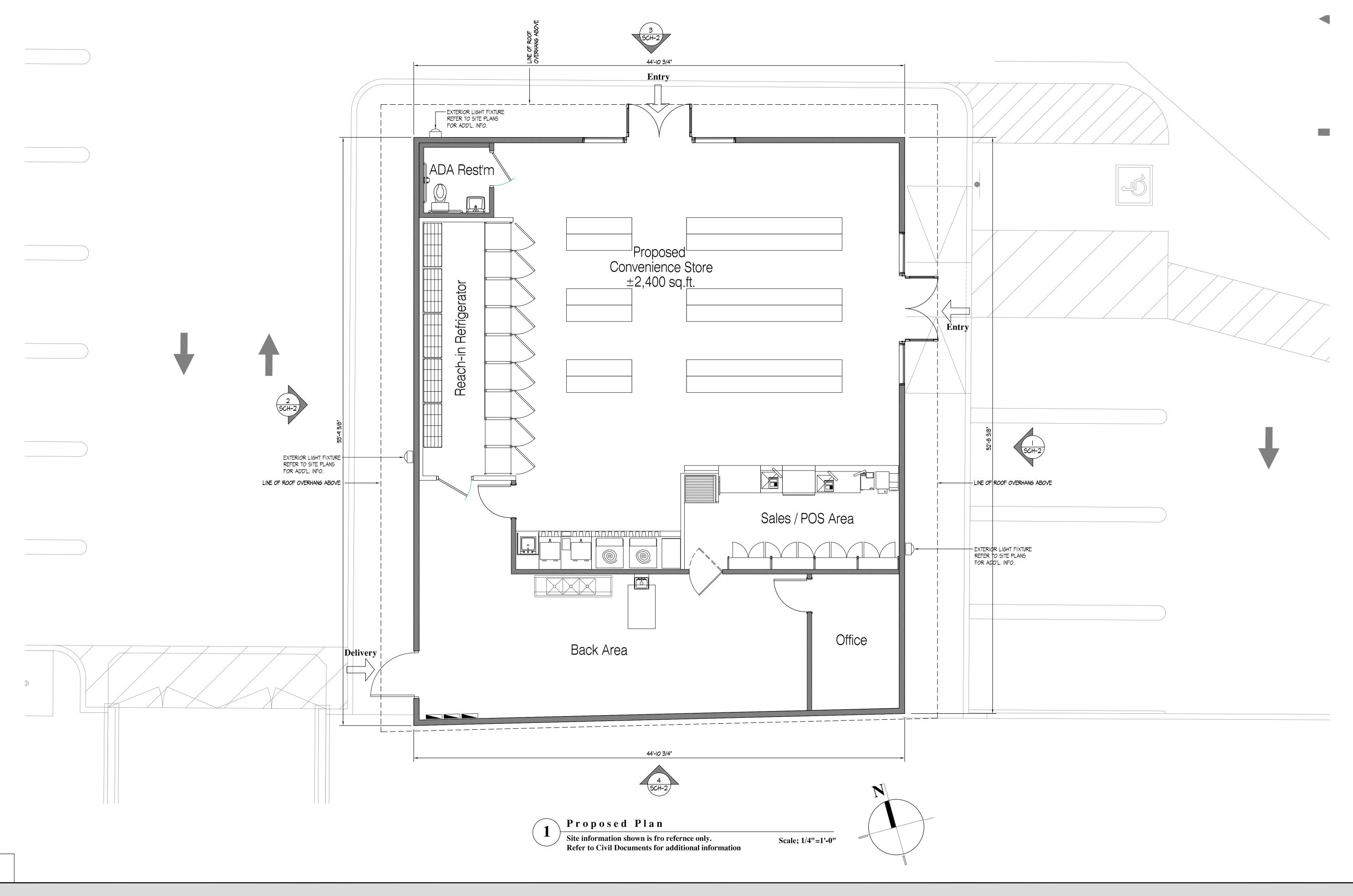
Scale; 1/4"=1'-0"

Proposed West Elevation

Scale; 1/4"=1'-0"

KSD #23031





KSD #23031

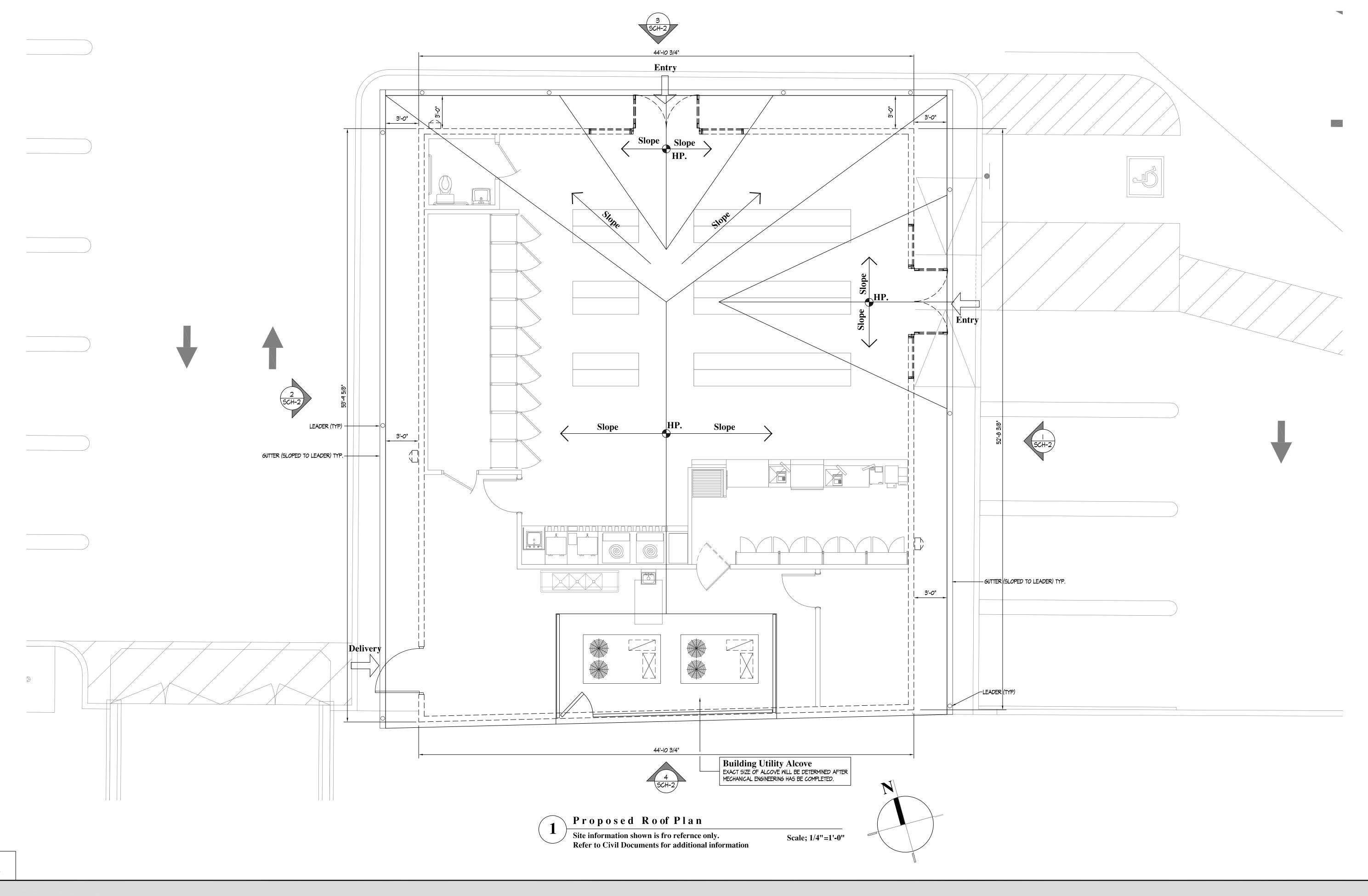


Convenience Store

SCH - 1

183 Main Street, Chatham, New Jersey

April 3, 2023



KSD #23031



Convenience Store

SCH - 3

183 Main Street, Chatham, New Jersey

April 3, 2023

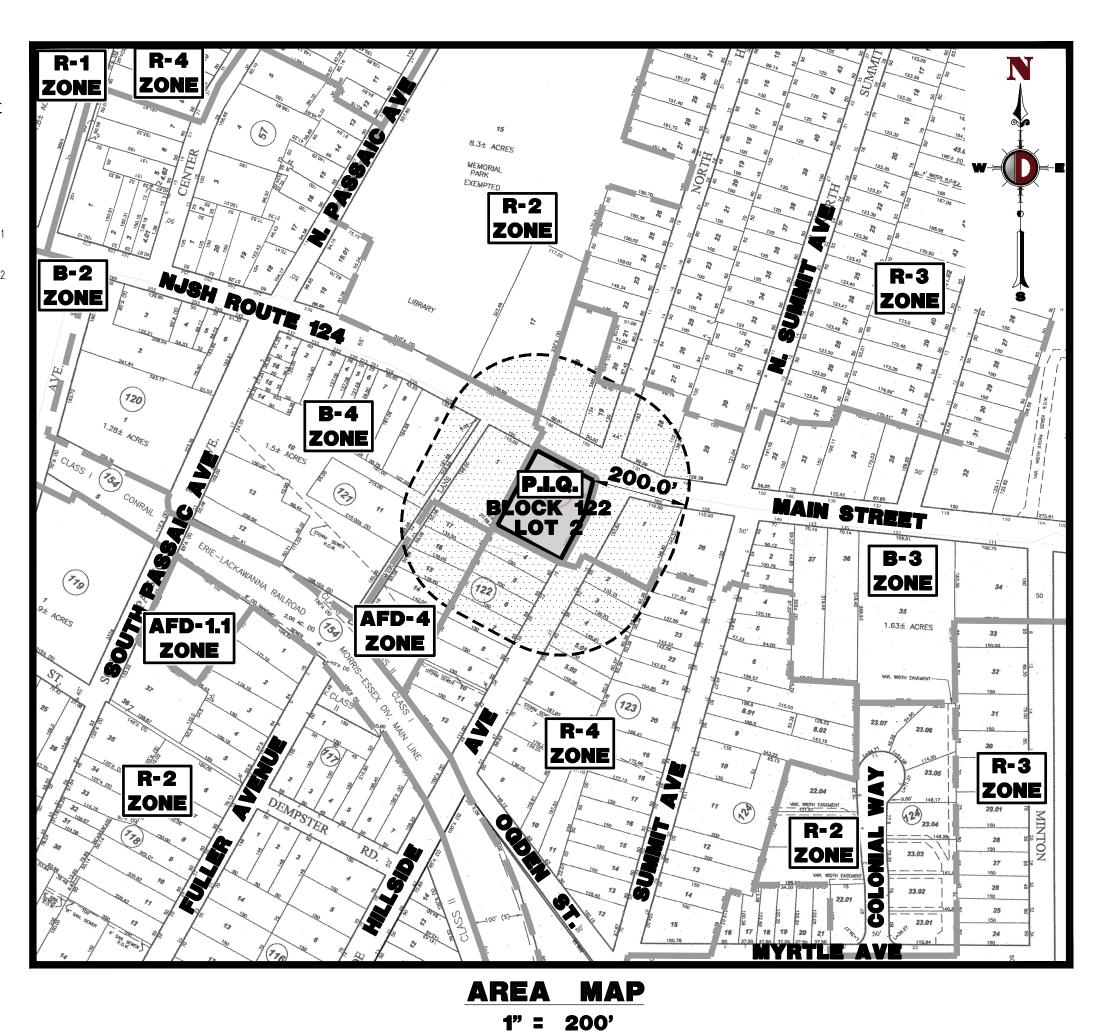
PRELIMINARY AND FINAL SITE PLAN

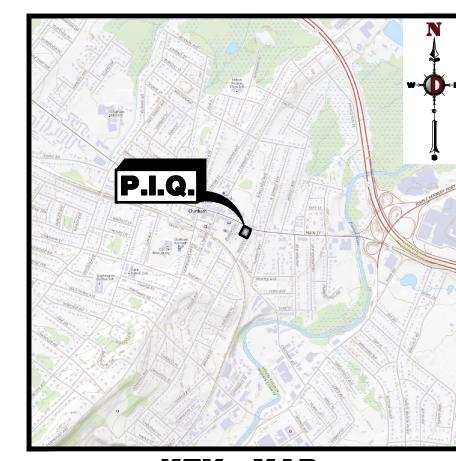
FOR DANNY REALTY, LLC PROPOSED RETAIL STORE

BLOCK 122, LOT 2; TAX MAP SHEET 19 - LATEST REV. DATED 6-10-2004 185 MAIN STREET (NJSH ROUTE 124) & HILLSIDE AVENUE BOROUGH OF CHATHAM MORRIS COUNTY, NEW JERSEY

200' PROPERTY OWNERS LIST

		<u>BOROUGH</u>	<u>of chatham</u>		
PROPERTY OWNER	BLOCK	<u>LOT</u>	PROPERTY OWNER	BLOCK	<u>LOT</u>
BOROUGH OF CHATHAM MUNICIPAL BLDG CHATHAM, NJ 07928	121	10	ERCOLANO, THOMAS JR/PAULETTE 19 HILLSIDE AVE CHATHAM, NJ 07928	123	3
CHATHAM ROBBINS PROPERTY LLC 1150 W.C CHESTNUT ST UNION , NJ 07083	121	11	DANISHEK, JAMES H/JEROME 38 PARK ST 6-B FLORHAM PARK, NJ 07932	123	4
CRONHEIM, ROBERT PO BOX 268 CHATHAM, NJ 07928	121	9	NORTON, MARGARET/BRIAN 27 HILLSIDE AVE CHATHAM, NJ 07928	123	5.01
ALAMAN ASSOCIATES, LIBERTY DRUG PO BOX 267 CHATHAM, NJ 07928	122	1	FORESOME GROUP, LLC 223 N. PASSAIC AVE CHATHAM, NJ 07928	123	5.02
DRISCOLL PROPERTIES, L.P. 27 BOWERS LN CHATHAM, NJ 07928	122	14–17	WHITING, DAVID E & MARGARET T 212 BROOKLAKE RD FLORHAM PARK, NJ 07932	55	28
DANNY REALTY LLC 230 MAIN ST MADISON, NJ 07940	122	2	EAO MAIN ST LLC 164 MAIN STREET CHATHAM, NJ 07928	55	29
PANICO, DAVID E/ CAROLINE 24 NORTH HILLSIDE AVE CHATHAM, NJ 07928	122	4	BOROUGH OF CHATHAM MUNICIPAL BLDG CHATHAM, NJ 07928	56	15
CONNOLLY, HOPE 22 HILLSIDE AVE CHATHAM, NJ 07928	122	5	ST. PAUL S EPISCOPAL CHURCH 200 MAIN ST CHATHAM, NJ 07928	56	17
PARADINE, CLEMENTINA 26 HILLSIDE AVE CHATHAM, NJ 07928	122	6	OGDEN MANSE LLC PO BOX 100 FAR HILLS, NJ 07931	56	18
AHMAD, SOHAIL/SAIRAH 30 HILLSIDE AVE CHATHAM, NJ 07928	122	7	JAECKLE FAMILY TRUST EDWARD THIRD 15 FAIRMOUNT RD E, BOX 245 POTTERSVILLE, NJ 07979	56	19
STEPHENS, GAIL L. TRUST 34 HILLSIDE AVE CHATHAM, NJ 07928	122	8	LI VOLSI, TIMOTHY J JR/ LINDSAY V 7 N HILLSIDE AVE CHATHAM, NJ 07928	56	20
NEW WAY ASSOCIATES C/O MANDLEBAUM 354 EISENHOWER PK SU 1900 LIVINGSTON, NJ 07039	123	1	ALSO TO BE NOTIFIED:		
CONLAN, GEORGE T & MARJORIE L 15 HILLSIDE AVE CHATHAM, NJ 07928	123	2	BELL ATLANTIC 540 BROAD STREET NEWARK, NJ 07102		
STEWART, RICHARD/ HOPE M 22 SUMMIT AVE CHATHAM, NJ 07928	123	23	OPTIMUM 683 RT 10 EAST RANDOLPH, NJ 07869-3799		
MILLER, WILLIAM/MINGKWAN 20 SUMMIT AVE CHATHAM, NJ 07928	123	24	PSE&G MANAGER — CORPORATE PROPERTIES 80 PARK PLAZA, T6B NEWARK, NJ 07102		
SCHULTZ, RICHARD C/DARLENE M 16 SUMMIT AVE CHATHAM, NJ 07928	123	25	JCP&L ATTN: CRAIG MANDEL JCP&L REAL ESTATE		
MARNEL ASSOCIATES LL 110 SUMMIT AVE CHATHAM NI 07028	107	26	300 MADISON AVE PO BOX 1911 MORRISTOWN, NJ 07960-1911		





KEY MAP1" = 2000'

DRAWING INC	EX
COVER SHEET	1 of 13
AERIAL MAP	2 of 13
DEMOLITION PLAN	3 of 13
SITE PLAN	4 of 13
GRADING, DRAINAGE & UTILITY PLAN	5 of 13
LANDSCAPE PLAN	6 of 13
LIGHTING PLAN	7 of 13
SOIL EROSION & SEDIMENT CONTROL PLAN	8 of 13
SOIL EROSION DETAILS & NOTES	9 of 13
CONSTRUCTION DETAILS	10 of 13
CONSTRUCTION DETAILS	11 of 13
VEHICLE CIRCULATION PLAN (SU-30)	12 of 13
VEHICLE CIRCULATION PLAN (TANKER)	13 of 13

(B) I CONSENT TO THE FILING OF THIS PLAN WITH THE ZONING BOARD OF ADJUSTMENT OF THE BOROUGH OF CHATHAM.

OWNER

(C) I HERBY CERTIFY THAT I HAVE PREPARED THIS PLAN AND THAT ALL DIMENSIONS AND INFORMATION ARE CORRECT.

P.E. N.J. LIC No. 4926

ENGINEER

TITLE & LICENCE NO.

(D)I HAVE REVIEWED THIS PLAN AND CERTIFY THAT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

BOROUGH OF CHATHAM APPROVAL

BLOCK

(A) PLAN FOR PROPOSED RETAIL STORE

ZONE B-3 (BUSINESS DISTRICT ZONE)

BLOCK <u>122</u> LOT <u>22</u>

BOROUGH ENGINEER DATE

(E) TO BE SIGNED BEFORE THE ISSUANCE OF CONSTRUCTION PERMIT: I HERBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR A BOND POSTED I COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

BOROUGH ENGINEER
(IF BOND POSTED)

BOROUGH CLERK

DATE

(F) APPROVED BY THE ZONING BOARD OF ADJUSTMENT

CHAIRMAN DATE

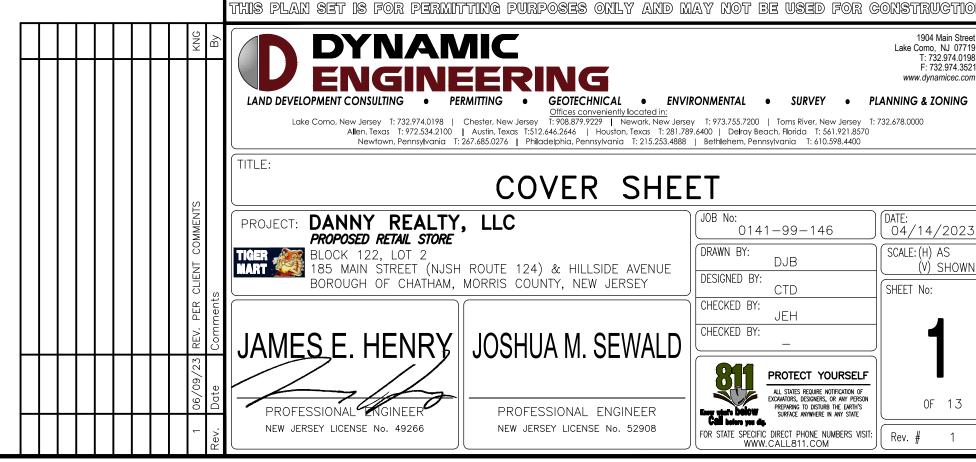
SECRETARY DATE

PREPARED BY

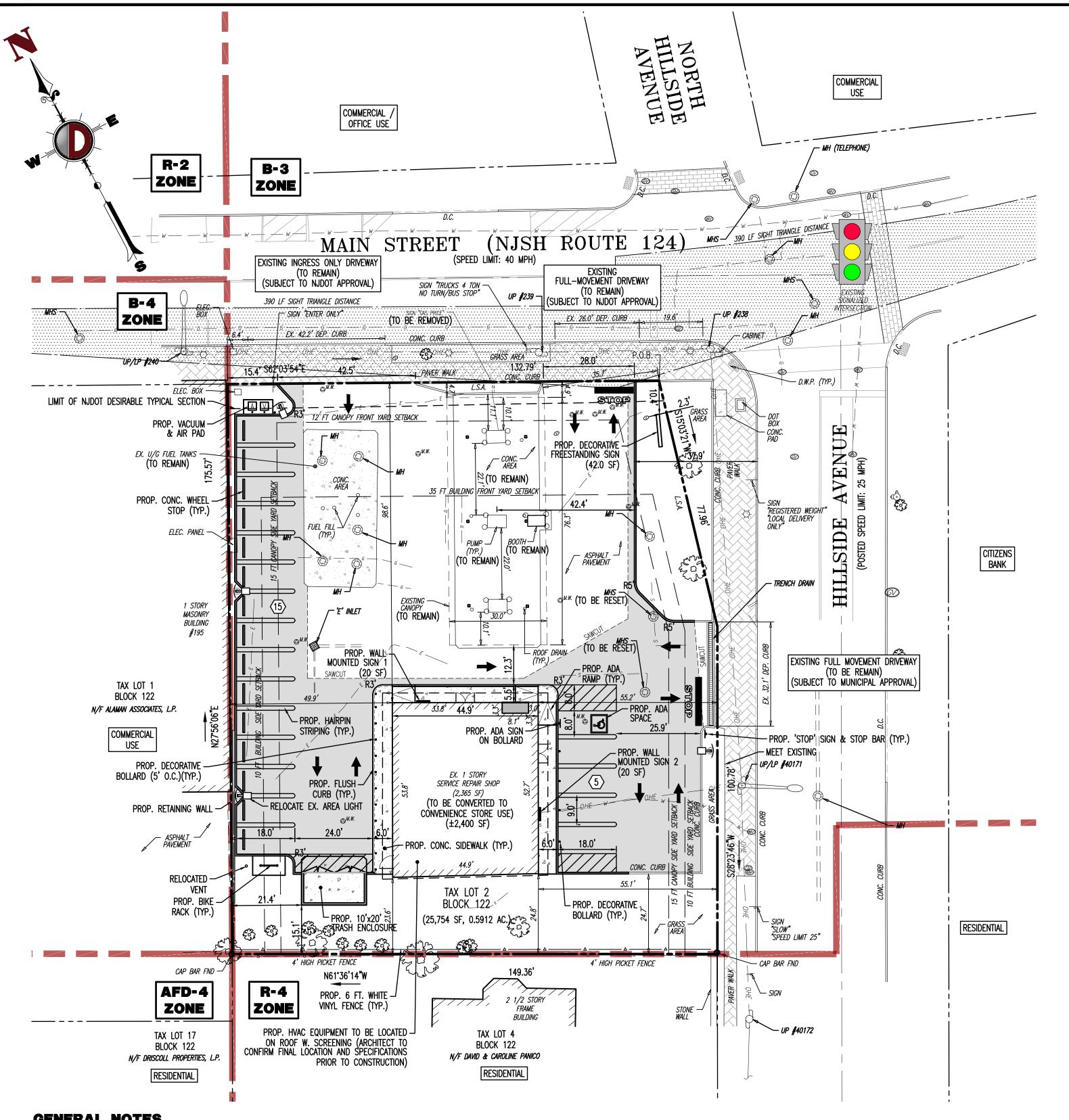
DYNAMIC ENGINEERING CONSULTANTS, P.C.

1904 MAIN STREET

1904 MAIN STREET LAKE COMO, NJ 07719 WWW.DYNAMICEC.COM



PRELIMINARY



GENERAL NOTES

- 14. THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.

 15. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES. UNIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
 THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
 SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, FTC.
- ETC.

 19. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.

 20. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

 SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- 4. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C., ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND ACAINST ANY DAMACES LIABILITIES OF COSTS INCLUDING PERSONAPIE ATTORNEYS. FEES AND DEFENSE AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

 25. NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A
- REGULATIONS.

 22. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.

 23. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

 24. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND DYNAMIC ENGINEERING CONSULIANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULIANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELLY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE CENERAL CONTRACTOR AND SHALL BE MADE ANDITIONAL INSURED LINDER THE CENERAL CONTRACTOR.

BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

- 26. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

 27. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- AGREE OTHERWISE.

 28. THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.

 29. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CONNECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

 30. ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM
- 30. ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY
- TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.

 31. THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.

 32. CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTORS RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.

 33. CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMPS AND ACCESSIBLE ROUTE MUST COMPLY WITH NJAC 5:23-7 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

GENERAL NOTES

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING: NEARMAP AERIAL, DATE CAPTURED: MARCH 21,2021

BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY DPK CONSULTING LL DATED 11/17/2021

APPLICANT/OWNER: MADISON, NJ 07490 PARCEL DATA:

MORRIS COUNTY, NJ ZONE B-3 (BUSINESS DISTRICT) 4. ZONE:

EXISTING USE: AUTOMOBILE SERVICE STATION **(CONDITIONAL USE)** (§ 165-18C(3))

AUTOMOBILE SERVICE STATION **(CONDITIONAL USE)** (§ 165-18C(3))
RETAIL TRADE AND/OR RETAIL SERVICES (CONVENIENCE STORE) **(PERMITTED USE)** (§ 165-18B(4))
MULTIPLE PERMITTED USES **(NON-PERMITTED)** (§ 165-84) **(V)** 6. PROPOSED USE:

7. SCHEDULE OF ZONING REQUIREMENTS (§ 165-22)

ZONE REQUIREMENT	ZONE B-3 (BUSINESS DISTRICT)	EXISTING	PROPOSED	
MINIMUM LOT AREA	N/S	25,754 SF (0.591 AC.)	25,754 SF (0.591 AC.)	
MINIMUM FRONT YARD SETBACK				
- BUILDING	35 FT	98.6 FT	98.6 FT	
- CANOPY	12 FT	4.7 FT (E)	4.7 FT (E)	
MINIMUM SIDE YARD SETBACK				
- BUILDING	10 FT	49.9 FT	49.9 FT	
- CANOPY	15 FT	35.7 FT	35.7 FT	
MINIMUM COMBINED SIDE YARD SETBACK	24 FT	103.2 FT	105.0 FT	
MINIMUM YARD BUFFER	15 FT	0 FT (E)	0 FT (E)	
MAXIMUM BUILDING HEIGHT	35 FT/2.5 STORIES	<35 FT/2.5 STORIES	20.5 FT/1 STORY	
MAXIMUM LOT COVERAGE	75%	79.8% (20,544 SF) (E)	79.6% (20,505 SF) (V)	
MAXIMUM BUILDING COVERAGE	15%	9.2% (2,365 SF)	9.3% (2,400 SF)	
MAXIMUM SF OF INDIVIDUAL (NEW) BUILDINGS	2,500 SF	N/A	+/- 2,400 SF	
MAXIMUM FLOOR AREA RATIO	N/S	0.092	0.093	

8. CONDITIONAL REQUIREMENTS — SERVICE STATIONS

N/S: NO STANDARD N/A: NOT APPLICABLE

A. THE MINIMUM STREET FRONTAGE SHALL BE 100 FEET. (§ 165-146A) (COMPLIES) B.NO SERVICE STATION SHALL BE LOCATED WITHIN 300 FEET OF ANY DWELLING OR WITHIN 1,000 FEET OF ANY FIREHOUSE, SCHOOL, PLAYGROUND, CHURCH, HOSPITAL, PUBLIC BUILDING OR INSTITUTION. (§ 165-146B) (E)

(V): VARIANCE (E): EXISTING NON-CONFORMANCE (TBD): TO BE DETERMINED

C. ALL APPLIANCES, PITS, STORAGE AREAS AND TRASH FACILITIES OTHER THAN GASOLINE FILLING PUMPS OR AIR PUMPS SHALL BE WITHIN A BUILDING. GASOLINE FILLING PUMPS AND AIR PUMPS SHALL BE PERMITTED WITHIN THE REQUIRED FRONT YARD SPACE OF SERVICE STATIONS BUT SHALL BE NO CLOSER THAN 25 FEET TO ANY STREET OR LOT LINE. ALL LUBRICATION, REPAIR OR SIMILAR ACTIVITIES SHALL BE PERFORMED IN A FULLY ENCLOSED BUILDING AND NO DISMANTLED PARTS SHALL BE DISPLAYED OUTSIDE OF AN ENCLOSED BUILDING. (\$ 165-146C) (E)

D. NO VEHICLE PARTS SHALL BE STORED ON THE PREMISES EXCEPT WITHIN AN ENCLOSED AND ROOFED BUILDING. NO MOTOR VEHICLE SHALL REMAIN ON THE PREMISES OUTSIDE AN ENCLOSED AND ROOFED BUILDING, EXCEPT FOR A MOTOR VEHICLE WHOSE OWNER IS AWAITING ITS REPAIR OR DISPOSITION. IN THAT CASE, THE SAID VEHICLE MAY REMAIN ON THE EXTERIOR OF THE PREMISES FOR A PERIOD NOT EXCEEDING SEVEN DAYS. (\$ 165-146D) (COMPLIES)

E. LANDSCAPING SHALL BE PROVIDED IN THE FRONT YARD AREA EQUAL TO AT LEAST 10% OF THE FRONT YARD AREA, AND SUCH LANDSCAPING SHALL BE REASONABLY DISTRIBUTED THROUGHOUT THE ENTIRE FRONT YARD AREA. (§ 165-146E) (COMPLIES)

F. THE EXTERIOR DISPLAY AND PARKING OF MOTOR VEHICLES, TRAILERS, BOATS OR OTHER SIMILAR EQUIPMENT FOR SALE OR RENT SHALL NOT BE PERMITTED AS PART OF A SERVICE STATION. NO PARKING FOR A FEE OR CAR WASH OPERATION SHALL BE PERMITTED. (§ 165-146F) (COMPLIES)

G. SERVICE STATIONS SHALL PROVIDE SIX PARKING SPACES FOR THE FIRST LIFT, WHEEL ALIGNMENT PIT OR SIMILAR WORK AREA AND AN ADDITIONAL THREE PARKING SPACES FOR EACH ADDITIONAL WORK AREA. SUCH SPACES SHALL BE SEPARATED FROM THE DRIVEWAY AND GENERAL APRON AREAS WHICH GIVE ACCESS TO THE

GASOLINE AND AIR PUMPS AND SERVICE AREAS. NO DESIGNATED PARKING SPACE SHALL OBSTRUCT ACCESS TO SUCH FACILITIES. (§ 165-146G) (N/A) H. SERVICE STATION CANOPIES MAY BE EITHER DETACHED OR ATTACHED CANOPIES. THEY SHALL BE GOVERNED BY THE FOLLOWING REQUIREMENTS: (1) THE LOWEST SURFACE (EQUIVALENT TO A CEILING) OF A CANOPY SHALL BE NO MORE THAN 14 FEET ABOVE THE LOWEST POINT OF THE FINISHED SURFACE BELOW IT. (§ 165-146H(1)) (NO PROPOSED CHANGES TO EXISTING)

(2) NO SIGNS SHALL BE PERMITTED ON THE CANOPY. (§ 165-146H(2)) (COMPLIES) (3) LIGHTING SHALL BE IN ACCORDANCE WITH \$ 165-78 OF THIS CHAPTER, AND LIGHTING FIXTURES SHALL BE LIMITED TO THE CEILING OF THE CANOPY. (4) THE CANOPY ROOF SHALL BE OF A GABLE, HIP, GAMBREL OR MANSARD TYPE DESIGN, OR A FLAT ROOF WITH BEVELED SIDES. THE ANGLE OF THE BEVELING OF

THE SIDES OF THE FLAT ROOF SHALL BE NO LESS THAN 30° AND NO MORE THAN 60° FROM THE VERTICAL. (§ 165-146H(4)) (COMPLIES) (5) THE SIDE YARD SETBACK OF A CANOPY SHALL BE NO LESS THAN 15 FEET, AND THE FRONT YARD SETBACK OF A CANOPY SHALL BE NO LESS THAN 12 FEET. 9. PARKING REQUIREMENTS

A. IN ADDITION TO THE REQUIRED CALCULATED PARKING BASED ON PROPOSED USE(S), ONE SPACE FOR EVERY VEHICLE OWNED AND/OR OPERATED BY THE USE OPERATING FROM THE SITE SHALL BE PROVIDED. (§ 165-34A(5)) (COMPLIES)

B. EACH OFF-STREET PARKING AREA SHALL HAVE A LANDSCAPED AREA AT LEAST THE SIZE OF A PARKING SPACE FOR EVERY 10 PARKING SPACES, WITH 1/2 OF SAID LANDSCAPED SPACES HAVING SHRUBS NO HIGHER THAN THREE FEET AND THE OTHER HALF HAVING BRANCHES NO LOWER THAN SEVEN FEET. SUCH LANDSCAPED SPACES SHALL BE DISTRIBUTED THROUGHOUT THE PARKING AREA IN ORDER TO BREAK THE VIEW OF LONG ROWS OF PARKED CARS IN A MANNER NOT IMPAIRING VISIBILITY. COMPLIANCE WITH THESE PROVISIONS SHALL NOT BE CONSTRUED AS MEETING THE REQUIREMENTS OF BUFFERS AS SPECIFIED ELSEWHERE IN THIS CHAPTER (§ 165–82B(1)) **(VARIANCE)**

C. NO PARKING SPACES OR LOADING ZONES SHALL BE PERMITTED IN FIRE LANES, DRIVEWAYS, LANDSCAPED AREAS, AISLES, BUFFER AREAS, SIDEWALKS, OR TURNING

AREAS, OR LESS THAN FIVE FEET FROM ANY PROPERTY LINE. (§ 165-82B(5)(A)) (COMPLIES) D. THE OFF-STREET PARKING FACILITIES REQUIRED FOR NONRESIDENTIAL USES, AS PERMITTED BY THIS CHAPTER, SHALL BE PROVIDED WITHIN 200 FEET OF THE BUILDING THEY ARE INTENDED TO SERVE, MEASURED BETWEEN THE NEAREST POINT OF THE OFFSTREET PARKING FACILITIES AND THE NEAREST POINT OF THE BUILDING. ALL SUCI PARKING SPACES SHALL BE OWNED, LEASED OR OTHERWISE UNDER THE CONTROL OF THE USER OF THE NONRESIDENTIAL USE. NOTHING IN THIS CHAPTER SHALL BE

CONSTRUED AS INCLUDING ANY MUNICIPAL PARKING, OPERATED/MAINTAINED BY THE BOROUGH OF CHATHAM. (§ 165-82B(5)(B)) (COMPLIES) E. NO PARKING SPACE OR AISLE SHALL EXTEND INTO ANY FRONT YARD, OR WITHIN THE SETBACK LINE OF THE SIDE YARD ADJACENT TO A STREET ON A CORNER LOT. (§

165-82B(5)(C)) **(E)** F. PROVISIONS FOR PARKING SPACES ON A SITE PLAN MUST ALSO INCLUDE ADEQUATE DRIVEWAY AND NECESSARY TURNING AREAS FOR HANDLING THE VEHICLES WHICH WILL BE USING THE SITE. PARKING AREAS SHALL BE DESIGNATED TO PERMIT EACH MOTOR VEHICLE TO PROCEED TO AND FROM THE PARKING SPACE PROVIDED FOR IT WITHOUT REQUIRING THE MOVING OF ANY OTHER MOTOR VEHICLES. WHERE THE ANGLE OF PARKING IS DIFFERENT ON ONE SIDE OF THE AISLE THAN IT IS ON THE OTHER, THE LARGER AISLE WIDTH REQUIREMENT SHALL PREVAIL. (§ 165-82B(6)) (COMPLIES)

G. PARKING STALL DIMENSIONS/LAYOUT. (a) PARKING STALLS SHALL BE 9 FEET BY 18 FEET. (§ 165-82B(8)(A)) (COMPLIES)

b) HAIRPIN STRIPING SHALL BE PROVIDED, WHERE APPROPRIATE. (§ 165-82B(8)(B)) (COMPLIES)

(c) END-TO-END PARALLEL PARKING SHALL HAVE A MINIMUM DIMENSION OF EIGHT FEET BY 23 FEET. (§ 165-82B(8)(C)) (N/A) H. MINIMUM REQUIRED BICYCLE PARKING, ONE BICYCLE PARKING SPACE SHALL BE PROVIDED FOR EVERY 10 REQUIRED OFF—STREET PARKING SPACES. SUCH BICYCLE PARKING SHALL BE LOCATED AND CLEARLY DESIGNATED IN A SAFE AND CONVENIENT LOCATION, SHALL BE DESIGNED TO ACCOMMODATE U—SHAPED LOCKING DEVICES, AND SHALL SUPPORT BICYCLES IN A STABLE POSITION WITHOUT DAMAGE TO WHEELS, FRAME, OR OTHER COMPONENTS, AND SHALL BE SECURELY ANCHORED. (§ 165–25J) **(COMPLIES)**

I. THE MINIMUM OFF-STREET PARKING FOR RETAIL TRADE AND SERVICE SHALL BE 4 SPACES FOR EVERY 1,000 SF OF GFA. (§ 165-25A) J. PARKING CALCULATION:

SERVICE STATION: 6 SPACES (FIRST BAY) + 3 SPACES/EACH ADDITIONAL BAY = 15 SPACES

PROPOSED: CONVENIENCE STORE:

(+/-2,400 SF)*(4 PARKING SPACES/1,000 SF)= 9.6 OR 10 SPACES

SERVICE STATION:

6 SPACES (FIRST BAY) + 3 SPACES/EACH ADDITIONAL BAY = 0 SPACES REQUIRED

TOTAL SPACES REQUIRED

= 10 SPACES **(E)** = 20 SPACES (INCLUDING 1 ADA) (COMPLIES) TOTAL SPACES PROVIDED

LOADING REQUIREMENTS

A.EACH ACTIVITY SHALL PROVIDE FOR OFF-STREET LOADING AND UNLOADING WITH ADEQUATE INGRESS AND EGRESS FROM STREETS. EACH SHALL BE AT LEAST 15 FEET BY 40 FEET. (§ 165-24) (VARIANCE - NO LOADING SPACES PROVIDED) B. EACH NONRESIDENTIAL ACTIVITY EXCEEDING 10,000 SQUARE FEET OF GROSS FLOOR AREA SHALL PROVIDE ONE OFF-STREET LOADING AND UNLOADING SPACE WITH ADEQUATE INGRESS AND EGRESS FROM STREETS. EACH SPACE SHALL BE AT LEAST 15 FEET BY 40 FEET. (§ 165-33) (N/A)

1. DRIVEWAY REQUIREMENTS A. THERE SHALL BE A MAXIMUM OF TWO DRIVEWAYS ON ANY LOT CROSSING THE STREET LINE OF THE FRONTING STREET. IF THERE ARE TWO SUCH DRIVEWAYS, THEIR CENTER LINES SHALL BE SPACED AT LEAST 45 FEET APART AT THE STREET LINE; EACH SHALL HANDLE NO MORE THAN TWO LANES OF TRAFFIC; NO PART OF A DRIVEWAY SHALL BE LESS THAN 10 FEET FROM THE PROPERTY SIDE LINES; AND, IN THE CASE OF A CORNER LOT, NO PART OF A DRIVEWAY SHALL BE CLOSER TO THE SIDE LINE OF THE INTERSECTING STREET THAN 50 FEET OR ONE—HALF THE LOT FRONTAGE, WHICHEVER IS GREATER, EXCEPT THAT IN NO CASE SHALL THIS DISTANCE HAVE TO EXCEED 100 FEET. (§ 165—82B(4)(A)) (E)

B. TWO—WAY DRIVEWAYS SHALL BE AT LEAST 24 FEET WIDE; ONE—WAY DRIVEWAYS SHALL BE AT LEAST 12 FEET WIDE. IN THE LAYOUT OF ALL DRIVEWAYS, DUE CONSIDERATION SHALL BE GIVEN TO THE PROPOSED WIDTH, CURBING, DIRECTION OF TRAFFIC FLOW, RADII OF CURVES AND METHOD OF DIVIDING TRAFFIC LANES. STREET CURBING SHALL BE ELIMINATED WHERE IT WOULD OTHERWISE CROSS THE END OF A DRIVEWAY. DRIVEWAY CURBING MAY BE FLARED INTO THE STREET CURB. DUE CONSIDERATION SHOULD BE GIVEN TO COMPLIANCE WITH STATE OR COUNTY REGULATIONS IN OPENING DRIVEWAYS TO STREETS. (§ 165-82B(4)(B)) (COMPLIES)

A. A LANDSCAPE BUFFER NO LESS THAN FIFTEEN (15) FEET IN WIDTH SHALL BE PROVIDED FOR ALL NON-RESIDENTIAL LINES THAT ABUT A RESIDENTIAL DISTRICT. (§ 165-164B(17)(A)) (COMPLIES)

A.IF LOCATED ANYWHERE IN THE EXTERIOR SIDE YARD OF A CORNER LOT OR THE FRONT YARD OF ANY LOT, THE HEIGHT OF THE FENCE SHALL NOT EXCEED FOUR FEET, AND SUCH FENCE SHALL BE SO CONSTRUCTED THAT AT LEAST 50% THEREOF IS OPEN. (§ 165-77A(1)) (N/A) B. IF LOCATED IN, ALONG, ADJACENT TO OR PARALLEL WITH AN INTERIOR SIDE LINE OF A CORNER LOT OR ON EITHER SIDE LINE OF ANY OTHER LOT OR IN ANY OTHER PORTION OF THE REAR YARD, AND IN ALL CASES TO THE REAR OF THE FRONT FOUNDATION LINE OF THE DWELLING OR STRUCTURE ERECTED UPON SAID LOT THE HEIGHT OF THE FENCE SHALL NOT EXCEED FIVE FEET. (§ 165-77A(2)) (N/A)

C.IF LOCATED ALONG THE REAR PROPERTY LINE WHICH IS ALSO THE REAR PROPERTY LINE OF THE ABUTTING PROPERTY, A FENCE MAY BE CONSTRUCTED TO A HEIGHT OF NOT IN EXCESS OF SIX FEET. IF LOCATED ALONG A REAR PROPERTY LINE WHICH IS ALSO THE SIDE PROPERTY LINE OF THE ABUTTING PROPERTY, A FENCE MAY BE CONSTRUCTED TO A HEIGHT OF NOT IN EXCESS OF FIVE FEET. (§ 165-77A(3)) (N/A)

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PROTECT YOURSELF

ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:

SIGNAGE CHART

GN		REQUIREMENTS		EXISTING		PROPOSED	
FREESTANDING	NUMBER OF SIGNS:	TWO (2) SIGNS	NUMBER OF SIGNS:		TWO (2)	NUMBER OF SIGNS:	ONE (
	MAXIMUM SIGN AREA:	8 SF (NONILLUMINATED) EXTERNALLY ILLUMINATED) [1] OR 5 SF (OTHERS) [2]	SIGN AREA:		EXXON SIGN: 24.13 SF (E) PRICER SIGN: 19.13 SF (E)		42 SF (
	MAXIMUM SIGN HEIGHT:	7 FT	SIGN HEIGHT:		EXXON SIGN: 11.28 FT (E) PRICER SIGN: 11.00 FT (E)		9'-10"
	MINIMUM SIGN SETBACK:	5 FT [3]	SIGN SETBACK:		EXXON SIGN: 2.3 FT (E) PRICER SIGN: -0.27 FT (E)	SIGN SETBACK:	2.3 FT
	MINIMUM CLEARANCE:	N/S	SIGN CLEARANCE:		EXXON SIGN: 7.60 FT PRICER SIGN: 6.5 FT	SIGN CLEARANCE:	3
WALL MOUNTED	NUMBER OF WALL SIGNS:	ONE (1) SIGN PER FACADE	NUMBER OF SIGNS:		TWO (2) (E)	NUMBER OF SIGNS:	
						<u>NORTH FAÇADE:</u> <u>EAST FAÇADE:</u>	ONE ONE
	MAXIMUM WALL SIGN AREA [5][6][7]:	20 SF PER SIGN OR TOTAL 10% OF FAÇADE AREA	SIGN AREA:			SIGN AREA:	
		NORTH FAÇADE:		NORTH FAÇADE:		NORTH FAÇADE:	
		10% OF (14' X 44.90') = 62.86 SF		EXXON SIGN:	12.95 SF	TIGER MART SIGN 1:	2
				OIL SERVICE SIGN:_	36.0 SF (E)		
				TOTAL:	48.95 SF		
		<u>EAST FAÇADE:</u>		<u>EAST FAÇADE:</u>		<u>EAST FAÇADE:</u>	
		10% OF (14' X 52.7') = 73.78 SF			N/A	TIGER MART SIGN 2:	2
	MAX. PROJECTION:	4 IN	PROJECTION:			PROJECTION:	
				NORTH FAÇADE:		NORTH FAÇADE:	
				EXXON SIGN:	+/- 1 IN	TIGER MART SIGN 1:	<
				OIL SERVICE SIGN:	+/- 1 IN	FACT FACADE.	
				<u>EAST FAÇADE:</u>	N/A	<u>EAST FAÇADE:</u> TIGER MART SIGN 2:	<
	MAX HEIGHT OF SIGN GRAPHICS:	12 IN	 HEIGHT OF SIGN GRAPHIC	ς.		HEIGHT OF SIGN GRAPHICS:	
	WAX HEIGHT OF STON GIVALTINGS.	12 114	TILIGITI OI SIGIV GIVALTILE.	NORTH FAÇADE:		NORTH FAÇADE:	
				EXXON SIGN:	2.35 FT (V)	TIGER MART SIGN 1:	< 1
				OIL SERVICE SIGN:	1.75 FT		
				EAST FAÇADE:		<u>EAST FAÇADE:</u>	
					N/A	TIGER MART SIGN 2:	< 12

[1] IF NONILLUMINATED, OR IF EXTERNALLY ILLUMINATED AND CONSTRUCTED OF WOOD, MATERIAL RESEMBLING WOOD OR MASONRY MATERIALS, A SIGN MAY NOT EXCEED EIGHT SQUARE FEET. (§ 165-105.B(2)(A))

[2] ANY OTHER FREESTANDING SIGNS, INCLUDING THOSE INTERNALLY ILLUMINATED, MAY NOT EXCEED FIVE SQUARE FEET. (§ 165-105.B(2)(B)) [3] THE SIGN SHALL BE AT LEAST FIVE FEET FROM ANY PROPERTY LINE. SHOULD THERE BE LESS THAN 12 FEET BETWEEN THE STREET FRONT PROPERTY LINE AND THE BUILDING FOUNDATION, THE SIGN SHALL BE CENTERED BETWEEN THE BUILDING AND THE PROPERTY LINE, BUT IN NO

CASE CLOSER THAN THREE FEET FROM THE SIDEWALK OR, IF THERE IS NO SIDEWALK, THE PROPERTY LINE. SIGNS SHALL NOT BE PLACED WITHIN THE AREA AT A STREET CORNER WHERE THERE SHOULD BE A SIGHT EASEMENT AS DESCRIBED IN THIS ARTICLE. (§ 165-105.B(4)) 4] VERBIAGE PLACED ON AWNINGS OR CANOPIES SHALL BE LIMITED TO IDENTIFICATION OF THE BUSINESS. SUCH VERBIAGE MAY IDENTIFY THE BUSINESS, THE TELEPHONE NUMBER, THE WEBSITE ADDRESS, A SHORT PRODUCT IDENTIFIER, AND/OR A .OGO OR EMBLEM. SUCH VERBIAGE SHALL BE LIMITED TO LOCATION ON THE FRINGE OF THE AWNING OR CANOPY, EXCEPT THAT A BUSINESS LOGO OR EMBLEM MAY BE PLACED ON THE SLOPE OF THE AWNING OR CANOPY AS LONG AS IT IS CENTERED AND DOES NOT EXCEED 10% OF THE AREA OF THE AWNING OR CANOPY. (§ 165-105.D(1))

[5] FOR THE PURPOSE OF WALL SIGNS, IN A BUILDING WHOSE GROUND FLOOR IS DIVIDED SIDE TO SIDE INTO SEPARATE UNITS WITH SEPARATE FRONT ENTRANCES, EACH UNIT SHALL BE TREATED AS HAVING A SEPARATE FRONT FACADE. (§ 165-105.A(1)(D))

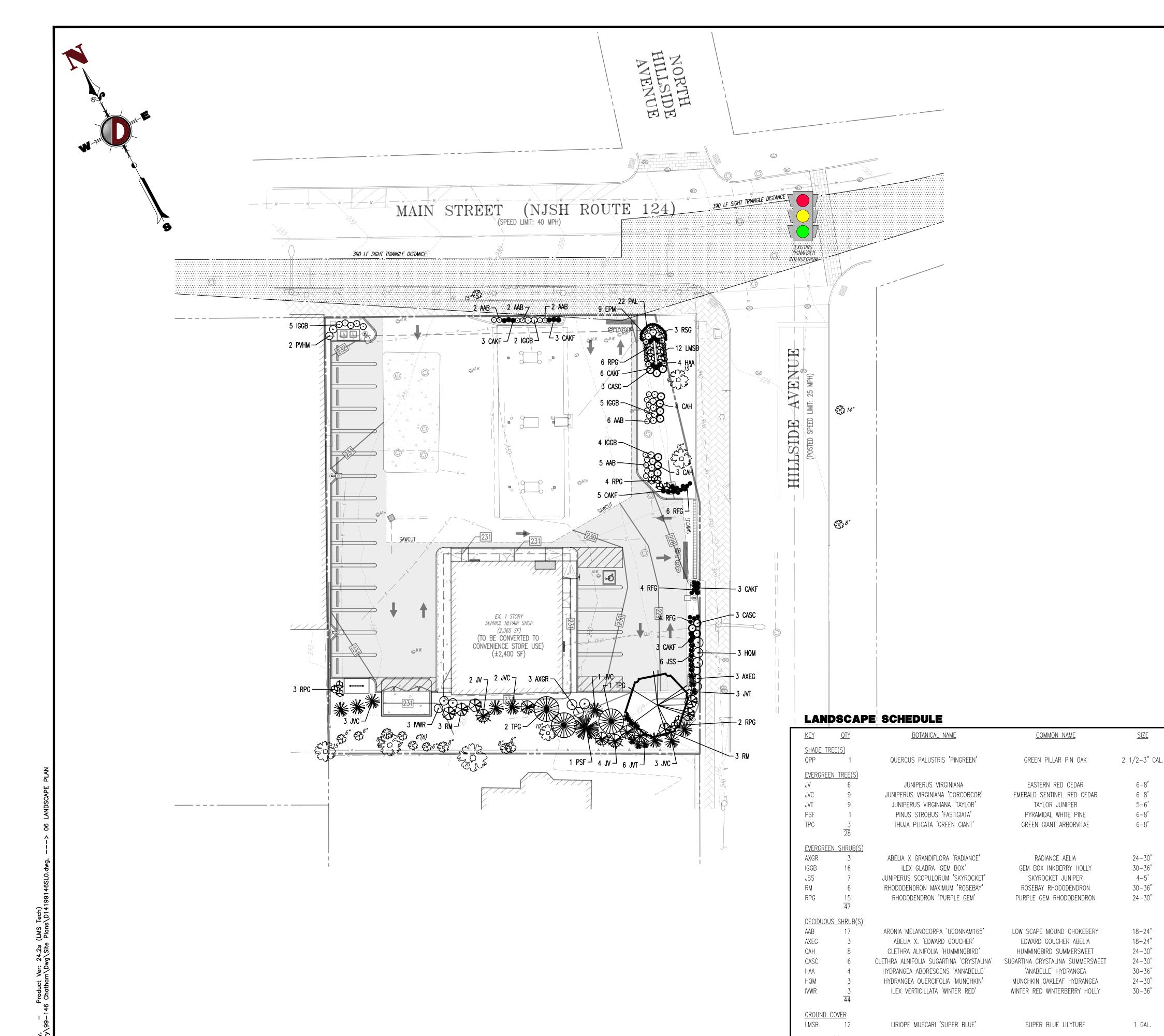
[6] THE TOTAL AREA OF ALL SIGNS ON A FACADE OF A BUILDING THAT FACE A PUBLIC STREET, PUBLIC ROW OR MUNICIPAL PARKING LOT SHALL NOT EXCEED 10% OF THE SQUARE FOOTAGE OF THE GROUND FLOOR PORTION OF THE FACADE. (§ 165-105.A(1)(A)) [7] INTERNALLY ILLUMINATED SIGNS SHALL NOT BE PERMITTED IN THE B-3 AND B-4 DISTRICTS. IN ALL OTHER DISTRICTS, INTERNALLY ILLUMINATE ONLY THE LETTERING OR LOGO, AND THE BACKGROUND SHALL BE OPAQUE OR DARK. (§ 165-102.A.(3)) (V)



NEW JERSEY LICENSE No. 49266

NOTE: THE HOURS OF OPERATION FOR THE GAS STATION SHALL BE 6AM TO 10PM

1 INCH = 20 FT.



(IN FEET)

1 INCH = 20 FT.

PERENNIAL(S)

ORNAMENTAL GRASS(ES)

EPM

RFG

RSG

CAKF

PAL

PVHM

ECHINACEA PURPUREA 'MAGNUS'

RUDBECKIA FULGIDA 'GOLDSTURM'

PEROVSKIA ATRIPLICFOLIA

PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'

PANICUM VIRGATUM 'HEAVY METAL'

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

23 CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

PLANTING NOTES

PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED; INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO

INSTALLATION.

3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.

4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.

5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.

6. INSOFAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.

PROJECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN OUP ANTIED FOR LUNGER THAN A THREE DAY PERIOD WILL BE REJECTED.

7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.

8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS, LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.

9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.

10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.

11. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.

12. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.

13. ALL INJURED ROOTS SHALL BE PROVED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.

14. EACH TREE AND SHRUB SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZER (5-10-5) UPON COMPLETION OF WORKS. THE ENTIRE LIMB OF ANY DAMAGED BRA DURING THIS PERIOD WILL BE REJECTED.

ALL EXISTING TREES TO REMAIN STRALL BE PROTECTION FENCE AT THE DRIP LINE. THIS WILL ENSURE NO COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK, CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER, ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCE AT THE DRIP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.

ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.

NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE MUNICIPAL LANDSCAPE ARCHITECT. THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OF TREES OF THE MUNICIPAL ENGINEER AND LANDSCAPE BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

<u>DATES</u> 3/15 TO 12/15 PLANTS 3/15 TO 6/15 LAWN 9/15 TO 12/1

VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE ACER RUBRUM

ACEN NOBIONAL PROPERTY NO PROP SALIX WEEPING VARIETIES TILIA TOMENTOSA ZELKOVA VARIETIES PLATANUS ACERFOLIA

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON. 19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL SEED SOD STABILIZATION METHOD.

PLANTING SPECIFICATIONS

THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT. A. GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.

3. PLANTS — ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.

3. TOPSOIL — LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, PH RANGE BETWEEN 4.5 — 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO

INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
D. MULCH — FOUR (4") INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH.
3. FERTILIZER AND SOIL CONDITIONER — PLANTED AREAS A. ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO 'NITROHUMIS'. 3. ORGANIC FERTILIZER AND SOIL CONDITIONER — SHALL BE 'GRO— POWER' AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1): NITROGEN 5%. PHOSPHATE 3%, POTASH 1%. 50% HUMUS AND 15% HUMIC ACIDS.

4. GENERAL WORK PROCEDURES

A. LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEPT CLEAN AT THE END OF EACH DAY'S WORK. WEEDING
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

6. TOPSOILING

A. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST PH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE

A. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.: 20 POUNDS 'GRO-POWER' 100 POUNDS AGRICULTURAL GYPSUM

20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHIP SOIL MODIFICATIONS: THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.5.

B. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES. RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.

C. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

8. PLANTING
POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING
PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
A. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED
GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

1 PART PEAT MOSS BY VOLUME
1 PART COW MANURE BY VOLUME
3 PARTS TOPSOIL BY VOLUME
3 PARTS TOPSOIL BY VOLUME
1 CRAM 'ACCIPCIONM' PLANTING TABLETS AS FOLLOWS:

21 GRAM 'AGRIFORM' PLANTING TABLETS AS FOLLOWS:

<u>REMARKS</u>

B+B

B+B

B+B

B+B

#3 CAN

#5 CAN

B+B

#5 CAN

#3 CAN

#5 CAN

CONTAINER

CONTAINER

CONTAINER

CONTAINER

CONTAINER

CONTAINER

CONTAINER

2 GAL.

2 GAL.

1 GAL.

2 GAL.

2 GAL.

2 GAL.

MAGNUS CONEFLOWER

GOLDSTURM/BLACK-EYED SUSAN

RUSSIAN SAGE

FEATHER REED GRASS

LITTLE BUNNY FOUNTAIN GRASS

HEAVY METAL SWITCH GRASS

LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER B. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.

BACK FILL AND WATER THUROUGHLT.

C. ALL PLANTS SHALL BE SET SO THAT, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED.

D. PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.

E. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. F. PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7' BRANCHING HEIGHT.

9. GROUND COVER

A. ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
B. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
C. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
D. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION. 10. FINISH GRADING

A. ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS .1 FOOT OF FINISH GRADE.
B. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.

A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNERS REPRESENTATIVE.

PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNERS REPRESENTATIVE.

12. CLEANUP

A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

B. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.

C. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING MOWING TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

this plan set is for permitting purposes only and may not be used for construct



13. MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

Lake Como, NJ 07719 T: 732.974.0198 F: 732.974.3521 www.dynamicec.com

0141-99-146

04/14/2023

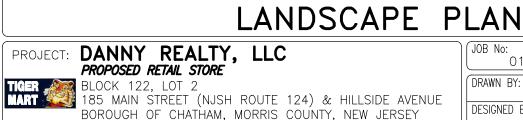
SCALE: (H) 1"=2C

0F 13

SHEET No:

Ottices conveniently located in:

Lake Como, New Jersey T: 732.974.0198 | Chester, New Jersey T: 908.879.9229 | Newark, New Jersey T: 973.755.7200 | Toms River, New Jersey T: 732.678.0000 Allen, Texas T: 972.534.2100 | Austin, Texas T:512.646.2646 | Houston, Texas T: 281.789.6400 | Delray Beach, Florida T: 561.921.8570 Newtown, Pennsylvania T: 267.685.0276 | Philadelphia, Pennsylvania T: 215.253.4888 | Bethlehem, Pennsylvania T: 610.598.4400



185 MAIN STREET (NJSH ROUTE 124) & HILLSIDE AVENUE BOROUGH OF CHATHAM, MORRIS COUNTY, NEW JERSEY

DESIGNED BY: CHECKED BY:

JAMES E. HENRY MARLA A. ROLLER

PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF EXCANATORS, DESIGNERS, OR ANY PERSON PREPARANG TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: Rev. #

LICENSED LANDSCAPE ARCHITECT NEW JERSEY LICENSE No. 21AS00053700

BOROUGH LIGHTING REQUIREMENTS

- LIGHTING REQUIREMENTS
 A. THE HEIGHT OF A LIGHT FIXTURE SHALL BE MEASURED FROM GROUND LEVEL TO ITS HIGHEST POINT AND SHALL INCLUDE THE BASE OF THE LIGHT
 FIXTURE. (§ 165-78.C(2)(A))
- B. THE MAXIMUM HEIGHT OF A LIGHT FIXTURE SHALL BE 20 FEET FOR COMMERCIAL STRUCTURES, BUT IN NO CASE HIGHER THAN THE PRINCIPAL BUILDING(S) OR STRUCTURE(S); AND A MAXIMUM HEIGHT OF A LIGHT FIXTURE SHALL BE 12 FEET FOR WALKWAYS. (§ 165–78.C(2)(B))
- C. THE MAXIMUM VERTICAL ILLUMINATION SHALL BE NO GREATER THAN 0.1 VERTICAL FOOTCANDLE AND NO LIGHT FIXTURE(S) SHALL CAUSE ANY GLARE, AS DETERMINED BY THE BOROUGH ZONING OFFICIAL OR HIS/HER DESIGNEE, WHEN MEASURED AT A POINT AT THE ADJACENT PROPERTY LINE AT A HEIGHT OF SIX FEET AND FACING THE LIGHT FIXTURE(S). (§ 165–78.C(3))
- D. WHERE REQUIRED, A DEVELOPMENT APPLICATION SHALL INCLUDE A LIGHTING PLAN. THE LIGHTING PLAN SHALL CLEARLY SHOW THE FOLLOWING: (\$ 165-78.C(4))
- i. THE LOCATION AND DESCRIPTION OF EVERY LIGHT FIXTURE, INCLUDING THE AIMING ANGLE, MOUNTING HEIGHT AND HOURS OF OPERATION. (§ 165-78.C(4)(A))
 ii. A DESCRIPTION OF THE OUTDOOR LIGHT FIXTURE, INCLUDING SPECIFICATIONS SUCH AS LAMPS, OPTICS, CUTOFF ANGLE, SUPPORTS, POLES
- AND MANUFACTURER'S CATALOG CUTS FOR EACH TYPE. (§ 165–78.C(4)(B))
 iii.FOUNDATION DETAILS FOR LIGHT POLES. (§ 165–78.C(4)(C))
- iv. A SCHEDULE PROVIDING FOR THE REDUCTION OF ON—SITE LIGHTING DURING THE NONOPERATING HOURS TO THE LEVELS NECESSARY FOR SECURITY PURPOSES. (§ 165–78.C(4)(D))

 v. MAINTAINED HORIZONTAL ILLUMINANCE IN FOOTCANDLES (AFTER DEPRECIATION) INCLUDING THE FOLLOWING: (§ 165–78.C(4)(E))
- MINIMUM.
 AVERAGE DURING OPERATING AND NONOPERATING HOURS.

MAXIMUM.

- 4. AVERAGE TO MINIMUM RATIO.

 vi.A COMPUTER-GENERATED PHOTOMETRIC GRID SHOWING THE LIGHT DISTRIBUTION PATTERN FOOTCANDLE READINGS ACROSS THE SITE AND AT THE PROPERTY LINE AT TEN-FOOT INTERVALS. (§ 165-78.C(4)(F))
- E. ALL PARKING AREAS AND WALKWAYS THERETO AND APPURTENANT PASSAGEWAYS AND DRIVEWAYS SERVING NONRESIDENTIAL USES SHALL BE ADEQUATELY ILLUMINATED FOR SECURITY AND SAFETY PURPOSES. (§ 165–78.D(1)(A))
- F. LIGHT SOURCES SHALL BE SHIELDED LIGHT FIXTURES. LIGHT FIXTURES SHALL NOT BE ALIGNED OR FOCUSED TO ILLUMINATE ABOVE THE HORIZONTAL PLANE, EXCEPT FOR FIXTURES DESCRIBED IN § 165-78D(1)(D) BELOW. (§ 165-78.D(1)(C))
- G. OUTDOOR LIGHT FIXTURES NOT ESSENTIAL FOR SECURITY PURPOSES, INCLUDING BUT NOT LIMITED TO DISPLAY LIGHTING, SHALL BE TURNED OFF BY 10:00 P.M. OR WITHIN ONE HOUR AFTER THE BUSINESS CLOSES, WHICHEVER IS LATER AND REMAIN OFF DURING NONBUSINESS HOURS. (§ 165–78.D(1)(E))
- H. NO LIGHT FIXTURE, BUILDING MOUNTED OR FREESTANDING, MAY EXCEED 12 FEET IN HEIGHT WITHIN 25 FEET OF ANY ABUTTING RESIDENTIAL PROPERTY. (§ 165–78.D(1)(1))
- I. WHERE EXTERIOR BUILDING OR VERTICAL STRUCTURE ILLUMINATION IS PERMITTED, IT SHALL BE APPROVED BY THE BOARD BASED ON THE FOLLOWING STANDARDS: (§ 165-78.D(2)(A))
- i. THE MAXIMUM ILLUMINATION ON ANY VERTICAL SURFACE OR ANGULAR ROOF STRUCTURE SHALL NOT EXCEED 1.0 FOOTCANDLE. (\$ 165-78.D(2)(A)[1])

 ii. IF THE BUILDING SURFACE IS LIGHTED, ONLY LIGHT FIXTURES MOUNTED ON THE BUILDING ITSELF ARE PERMITTED. (\$ 165-78.D(2)(A)[2])

 J. ALL SIGNS AND SIGN LIGHTING SHALL ALSO COMPLY WITH THE REQUIREMENTS OF \$ 165-102. (\$ 165-78.D(3)(A))
- SO THAT AT LEAST 90% OF THE LIGHT GENERATED WILL BE CONFINED TO THE LANDSCAPING. A TIMER SHALL CONTROL ALL SUCH LANDSCAPE LIGHTING AND THE BOARD SHALL APPROVE THE TIMING SCHEDULE. (§ 165–78.D(4))

 PARKING LOT LIGHTING. PARKING LOT LIGHTING SHALL PROVIDE ADEQUATE ILLUMINATION AND MINIMIZE GLARE AND LIGHT TRESPASS. PARKING LOT LIGHTING SHALL PETTING SH

K. WHERE LANDSCAPING IS TO BE ILLUMINATED, THE BOARD SHALL FIRST APPROVE A LANDSCAPE LIGHTING PLAN. THE PLAN SHALL INCLUDE CUTOFFS

- LIGHTING SHALL BE TURNED OFF BY 10:00 P.M. OR WITHIN ONE HOUR AFTER THE BUSINESS CLOSES, WHICHEVER IS LATER AND REMAIN OFF DURING NONBUSINESS HOURS. PARKING LOT LIGHTING SHALL MEET THE FOLLOWING ILLUMINATION STANDARDS (ALL LEVELS IN FOOTCANDLES): (\$ 165–78.D(5)(A)):
- i. MÌNIMÙM HORIZONTAL ILLUMINANCE: 0.2 ii. AVERAGE HORIZONTAL ILLUMINANCE: 1.0 iii. AVERAGE TO MINIMUM: 5:1
- iv.Maximum to minimum: 20:1 **(Variance)** v. Minimum vertical illuminance: 0:1

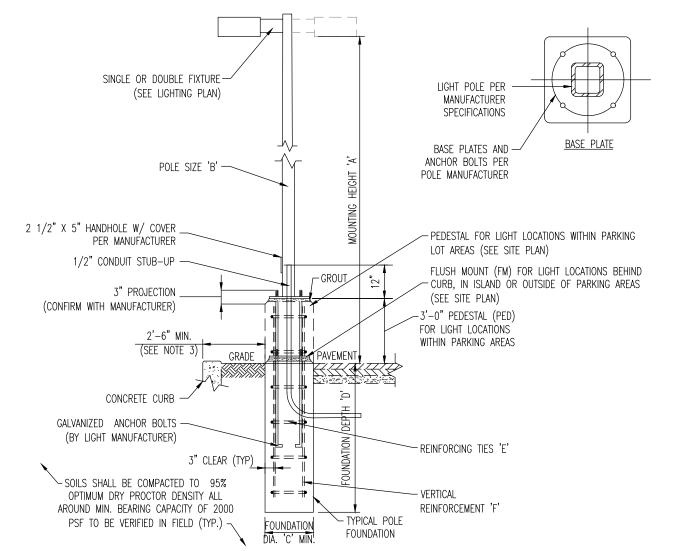
1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

- 2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- 3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDERAIL POSTS.
- 4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- 5. REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.

GENERAL NOTES

6. THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON—SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.



- NOTE: 1. CONTRACTOR TO CONFIRM ALL LIGHT POLE & FIXTURE DIMENSIONS PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO PROVIDE ADJUSTED POLE HEIGHT RESULTING IN MOUNTING HEIGHT 'A', TAKING INTO CONSIDERATION PEDESTAL (PED) OR FLUSH MOUNT (FM) FOUNDATION DESIGNATION AT FACH POLE LOCATION.
- FLUSH MOUNT (FM) FOUNDATION DESIGNATION AT EACH POLE LOCATION.

 3. PROPOSED CONCRETE FOUNDATION AND POLE TO BE CONSTRUCTED WITHIN SUBJECT PROPERTY UNLESS OTHERWISE NOTED. SETBACK FROM CURB IS PREFERRED BUT TO BE ADJUSTED AS NEEDED TO PREVENT ENCROACHMENT OVER PROPERTY LINE.
- 4. BASE PLATE & ANCHOR BOLTS PER POLE MANUFACTURER. LARGER FOOTING DIAMETER AND/OR ALTERNATE ARRANGEMENT OF REINFORCING STEEL MAY BE REQUIRED TO ACCOMMODATE ANCHOR BOLT CONFIGURATION. CONTRACTOR RESPONSIBLE TO COORDINATE DIMENSIONAL REQUIREMENTS FOR BASE PLATE, ANCHOR BOLTS & REINFORCING STEEL PRIOR TO CONSTRUCTION.

ASE	PLATE, ANCHOR BOLTS & REINFORCING STEEL PRIOR TO CONSTRUCTION.						
	LIGHT POLE FOUNDATION SCHEDULE						
	MOUNTING HEIGHT ABOVE GRADE 'A'	12'-14'					
	POLE DIA. 'B'	6" SQUARE (OR PER MANUFACTURER)					
	# OF FIXTURES	SINGLE OR DOUBLE					
	FOUNDATION DIAMETER 'C'	18" DIA. ROUND					
	FOUNDATION DEPTH 'D'	4.0'					
	REINFORCING TIES 'E'	#4 @ 16" O.C.					

(6) #5 BARS EQUALLY

- SOIL NOTES
- FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.

 SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.
- 1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
- 2. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".

VERTICAL REINFORCEMENT 'F'

 ALL EXPOSED CONCRETE SHALL BE AIR—ENTRAINED (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
 REINFORCING FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS AS WELL AS THE ACI AND UNIFORM BUILDING CODE.

AREA LIGHT FOUNDATION DETAIL

SEE SHEET 11 OF 13 FOR LIGHTING SPECIFICATIONS

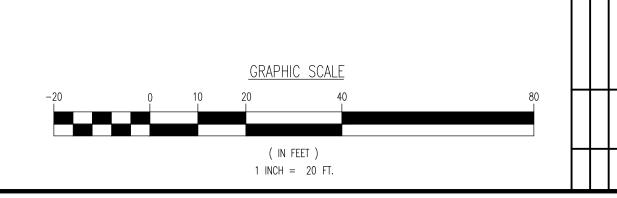
LIGHTING LUMINAIRE SCHEDULE SYMBOL QUANTITY LABEL WATTAGE MOUNTING HEIGHT ARRANGEMENT IES FILE LIGHT LOSS FACTOR MANUFACTURER DESCRIPTION MIRADA MEDIUM (MRM) LED AREA LIGHT 9L LUMENS FORWARD THROW W/INTEGRAL LOUVEL SINGLE MRM-LED-09L-SIL-FT-30-70CRI-IL.IES LSI INDUSTRIES EX-C-SS 373 (ASSUMED) 14.5 FT (ASSUMED) SINGLE EXISTING CANOPY LIGHT - XSPS LED SOFFIT LIGHT SUPER SAVER XSPS-S-LED-SS-WW-DFL.IES (ASSUMED) 只 10 FT WP-06L-FT SINGLE LSI INDUSTRIES MIRADA MEDIUM WALL SCONCE (XWM) - 06L LUMENS, FORWARD THROW, 3,000K COLOR TEMP XWM-FT-LED-03L-30.ies

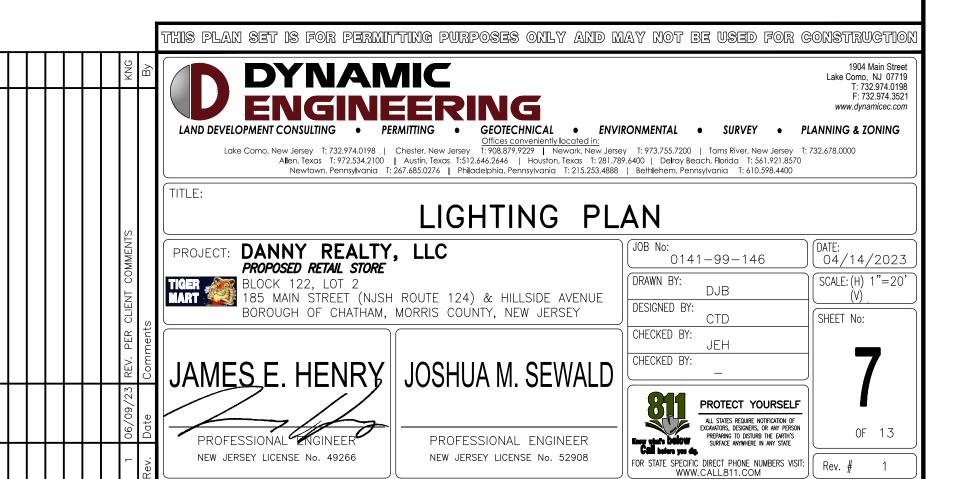
ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 1.0 FC.

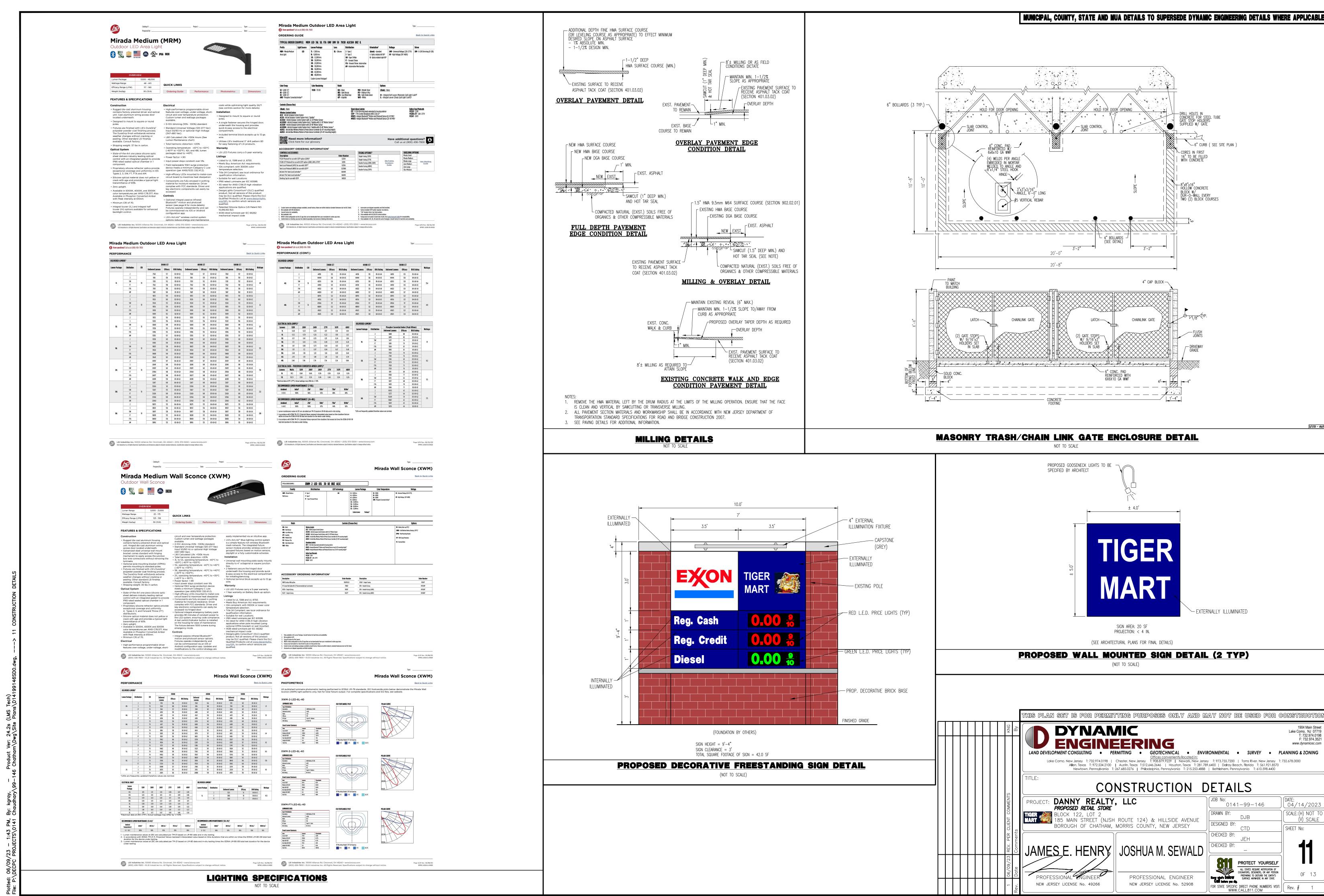
(FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION

THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY							
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.	DESCRIPTION	
CANOPY	11.62	13.5	8.0	1.45	1.69	LIGHT LEVELS BENEATH EX. CANOPY	
PARKING	3.02	8.1	0.5	6.04	16.20	LIGHT LEVELS WITHIN PARKING AREAS	
PAVEMENT	3.17	8.3	0.4	7.93	20.75	LIGHT LEVELS WITHIN PAVEMENT AREA	
PIQ	3.34	13.5	0.0	N.A.	N.A.	LIGHT LEVELS WITHIN PROPERTY IN QUESTION	









Photograph Location Report

Block 122, Lot 2 185 Main Street (NJSH Route 124) & Hillside Avenue Borough of Chatham Morris County, NJ



Key:

Photo Location



Photo 1: Photo of the existing western parking aisle from the southwestern corner of the lot facing north.

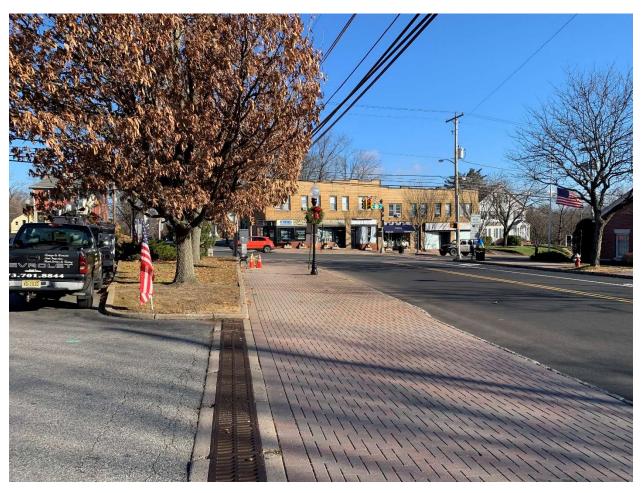


Photo 2: Photo along the eastern property line from the existing driveway on Hillside Avenue facing north.



Photo 3: Photo along the northern property line of the existing gas canopy to remain from the northeast driveway facing west.

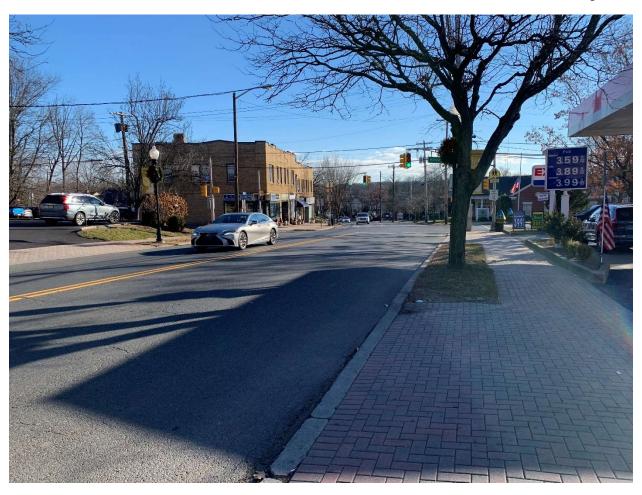


Photo 4: Photo along the northern property line from the northwestern driveway facing east.



Photo 5: Photo of building front from eastern side of canopy facing south.